



Inspection Report

Sample Report

Property Address:
1202 Missouri Ave
Oceanside Ca 92054



Nation Wide Inspections

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10928 Black Mtn Rd
San Diego, CA 92126

Table of Contents

Cover Page	1
Table of Contents	2
Intro Page	9
1 Roofing / Chimneys / Roof Structure and Attic	10
2 Exterior	16
3 Garage or Carport	35
4(A) Building 1 Unit A - Kitchen Components and Appliances	39
4(B) Building 1 Unit B - Kitchen Components and Appliances	41
4(C) Building 1 Unit C - Kitchen Components and Appliances	43
4(D) Building 1 Unit D - Kitchen Components and Appliances	45
4(E) Building 1 Unit E - Kitchen Components and Appliances	46
4(F) Building 1 Unit F - Kitchen Components and Appliances	48
4(G) Building 1 Unit G - Kitchen Components and Appliances	49
4(H) Building 1 Unit H - Kitchen Components and Appliances	50
4(I) Building 1 Unit I - Kitchen Components and Appliances	52
4(J) Building 1 Unit J - Kitchen Components and Appliances	54
4(K) Building 1 Unit K - Kitchen Components and Appliances	55
4(L) Building 1 Unit L - Kitchen Components and Appliances	57
4(M) Building 1 Unit M - Kitchen Components and Appliances	58

[4\(N\) Building 1 Unit N - Kitchen Components and Appliances60](#)

[4\(O\) Building 2 Unit L - Kitchen Components and Appliances61](#)

[4\(P\) Building 2 Unit M - Kitchen Components and Appliances62](#)

[4\(Q\) Building 2 Unit N - Kitchen Components and Appliances63](#)

[4\(R\) Building 2 Unit O - Kitchen Components and Appliances65](#)

[4\(S\) Building 2 Unit P - Kitchen Components and Appliances67](#)

[4\(T\) Building 2 Unit Q - Kitchen Components and Appliances69](#)

[4\(U\) Building 2 Unit R - Kitchen Components and Appliances70](#)

[4\(V\) Building 2 Unit S - Kitchen Components and Appliances72](#)

[4\(W\) Building 2 Unit T - Kitchen Components and Appliances74](#)

[4\(X\) Building 2 Unit U - Kitchen Components and Appliances75](#)

[4\(Y\) Building 2 Unit V - Kitchen Components and Appliances77](#)

[4\(Z\) Building 2 Unit W - Kitchen Components and Appliances78](#)

[4\(AA\) Building 2 Unit X - Kitchen Components and Appliances79](#)

[4\(BB\) Building 2 Unit Y - Kitchen Components and Appliances81](#)

[4\(CC\) Building 2 Unit Z - Kitchen Components and Appliances83](#)

[4\(DD\) Building 3 Unit J - Kitchen Components and Appliances85](#)

[4\(EE\) Building 3 Unit K - Kitchen Components and Appliances86](#)

[4\(FF\) Building 4 Unit A - Kitchen Components and Appliances88](#)

[4\(GG\) Building 4 Unit B - Kitchen Components and Appliances89](#)

[4\(HH\) Building 4 Unit C - Kitchen Components and Appliances90](#)

[4\(II\) Building 4 Unit D - Kitchen Components and Appliances92](#)

[4\(JJ\) Building 4 Unit E - Kitchen Components and Appliances93](#)

[4\(KK\) Building 4 Unit F - Kitchen Components and Appliances95](#)

[4\(LL\) Building 4 Unit G - Kitchen Components and Appliances96](#)

[4\(MM\) Building 4 Unit H - Kitchen Components and Appliances97](#)

[4\(NN\) Building 4 Unit I - Kitchen Components and Appliances99](#)

[5\(A\) Building 1 Unit A - Interior Rooms..... 101](#)

[5\(B\) Building 1 Unit B - Interior Rooms..... 103](#)

[5\(C\) Building 1 Unit C - Interior Rooms 106](#)

[5\(D\) Building 1 Unit D - Interior Rooms 107](#)

[5\(E\) Building 1 Unit E - Interior Rooms..... 110](#)

[5\(F\) Building 1 Unit F - Interior Rooms 111](#)

[5\(G\) Building 1 Unit G - Interior Rooms..... 113](#)

[5\(H\) Building 1 Unit H - Interior Rooms 115](#)

[5\(I\) Building 1 Unit I - Interior Rooms..... 117](#)

[5\(J\) Building 1 Unit J - Interior Rooms..... 119](#)

[5\(K\) Building 1 Unit K - Interior Rooms..... 121](#)

[5\(L\) Building 1 Unit L - Interior Rooms..... 123](#)

[5\(M\) Building 1 Unit M - Interior Rooms..... 125](#)

[5\(N\) Building 1 Unit N - Interior Rooms 127](#)

[5\(O\) Building 2 Unit L - Interior Rooms..... 131](#)

<u>5(P) Building 2 Unit M - Interior Rooms</u>	<u>134</u>
<u>5(Q) Building 2 Unit N - Interior Rooms</u>	<u>136</u>
<u>5(R) Building 2 Unit O - Interior Rooms</u>	<u>138</u>
<u>5(S) Building 2 Unit P - Interior Rooms.....</u>	<u>141</u>
<u>5(T) Building 2 Unit Q - Interior Rooms.....</u>	<u>143</u>
<u>5(U) Building 2 Unit R - Interior Rooms</u>	<u>145</u>
<u>5(V) Building 2 Unit S - Interior Rooms.....</u>	<u>148</u>
<u>5(W) Building 2 Unit T - Interior Rooms.....</u>	<u>150</u>
<u>5(X) Building 2 Unit U - Interior Rooms.....</u>	<u>152</u>
<u>5(Y) Building 2 Unit V - Interior Rooms.....</u>	<u>154</u>
<u>5(Z) Building 2 Unit W - Interior Rooms</u>	<u>157</u>
<u>5(AA) Building 2 Unit X - Interior Rooms</u>	<u>158</u>
<u>5(BB) Building 2 Unit Y - Interior Rooms</u>	<u>160</u>
<u>5(CC) Building 2 Unit Z - Interior Rooms.....</u>	<u>162</u>
<u>5(DD) Building 3 Unit J - Interior Rooms.....</u>	<u>164</u>
<u>5(EE) Building 3 Unit K - Interior Rooms</u>	<u>166</u>
<u>5(FF) Building 4 Unit A - Interior Rooms.....</u>	<u>168</u>
<u>5(GG) Building 4 Unit B - Interior Rooms.....</u>	<u>170</u>
<u>5(HH) Building 4 Unit C - Interior Rooms.....</u>	<u>171</u>
<u>5(II) Building 4 Unit D - Interior Rooms.....</u>	<u>174</u>
<u>5(JJ) Building 4 Unit E - Interior Rooms.....</u>	<u>176</u>
<u>5(KK) Building 4 Unit F - Interior Rooms.....</u>	<u>179</u>
<u>5(LL) Building 4 Unit G - Interior Rooms.....</u>	<u>182</u>
<u>5(MM) Building 4 Unit H - Interior Rooms</u>	<u>182</u>
<u>5(NN) Building 4 Unit I - Interior Rooms</u>	<u>185</u>
<u>6(A) Building 1 Unit A - Bathrooms and Components.....</u>	<u>186</u>
<u>6(B) Building 1 Unit B - Bathrooms and Components.....</u>	<u>190</u>
<u>6(C) Building 1 Unit C - Bathrooms and Components.....</u>	<u>192</u>

[6\(D\) Building 1 Unit D - Bathrooms and Components..... 194](#)

[6\(E\) Building 1 Unit E - Bathrooms and Components..... 195](#)

[6\(F\) Building 1 Unit F - Bathrooms and Components..... 197](#)

[6\(G\) Building 1 Unit G - Bathrooms and Components..... 199](#)

[6\(H\) Building 1 Unit H - Bathrooms and Components..... 200](#)

[6\(I\) Building 1 Unit I - Bathrooms and Components..... 201](#)

[6\(J\) Building 1 Unit J - Bathrooms and Components..... 202](#)

[6\(K\) Building 1 Unit K - Bathrooms and Components..... 203](#)

[6\(L\) Building 1 Unit L - Bathrooms and Components..... 204](#)

[6\(M\) Building 1 Unit M - Bathrooms and Components..... 205](#)

[6\(N\) Building 1 Unit N - Bathrooms and Components..... 206](#)

[6\(O\) Building 2 Unit L - Bathrooms and Components..... 207](#)

[6\(P\) Building 2 Unit M - Bathrooms and Components..... 209](#)

[6\(Q\) Building 2 Unit N - Bathrooms and Components..... 210](#)

[6\(R\) Building 2 Unit O - Bathrooms and Components..... 211](#)

[6\(S\) Building 2 Unit P - Bathrooms and Components..... 213](#)

[6\(T\) Building 2 Unit Q - Bathrooms and Components..... 215](#)

[6\(U\) Building 2 Unit R - Bathrooms and Components..... 216](#)

[6\(V\) Building 2 Unit S - Bathrooms and Components..... 217](#)

[6\(W\) Building 2 Unit T - Bathrooms and Components..... 218](#)

[6\(X\) Building 2 Unit U - Bathrooms and Components..... 219](#)

[6\(Y\) Building 2 Unit V - Bathrooms and Components..... 220](#)

[6\(Z\) Building 2 Unit W - Bathrooms and Components..... 221](#)

[6\(AA\) Building 2 Unit X - Bathrooms and Components..... 222](#)

[6\(BB\) Building 2 Unit Y - Bathrooms and Components..... 224](#)

[6\(CC\) Building 2 Unit Z - Bathrooms and Components..... 224](#)

[6\(DD\) Building 3 Unit J - Bathrooms and Components..... 225](#)

[6\(EE\) Building 3 Unit K - Bathrooms and Components..... 226](#)

[6\(FF\) Building 4 Unit A - Bathrooms and Components..... 227](#)

[6\(GG\) Building 4 Unit B - Bathrooms and Components..... 228](#)

[6\(HH\) Building 4 Unit C - Bathrooms and Components..... 229](#)

[6\(II\) Building 4 Unit D - Bathrooms and Components..... 231](#)

[6\(JJ\) Building 4 Unit E - Bathrooms and Components..... 232](#)

[6\(KK\) Building 4 Unit F - Bathrooms and Components..... 233](#)

[6\(LL\) Building 4 Unit G - Bathrooms and Components..... 234](#)

[6\(MM\) Building 4 Unit H - Bathrooms and Components..... 235](#)

[6\(NN\) Building 4 Unit I - Bathrooms and Components..... 236](#)

[7 Structural Components 237](#)

[8 Plumbing System 246](#)

[9 Electrical System 256](#)

[10 Heating / Central Air Conditioning..... 261](#)

[General Summary..... 263](#)

[Invoice..... 325](#)

Nation Wide Inspections

Date: 3/8/2013	Time: 08:00 AM	Report ID: JL0306-0713C
Property: 1202 Missouri Ave Oceanside Ca 92054	Customer: Sample Report	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Style of Building:

Commercial Apartment Complex

Age Of Building:

Over 50 Years, Unknown

Client Is Present:

Yes

Radon Test:

No

Water Test:

No

Weather:

Light Rain, Clear

Temperature:

Over 65, Below 65

Rain in last 3 days:

Yes, No

1. Roofing / Chimneys / Roof Structure and Attic

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.


Styles & Materials

Viewed roof covering from: Walked roof	Roof-Type: Gable	Roof Covering: 3-Tab fiberglass Roll/Selvage
Chimney (exterior): N/A	Sky Light(s): None	Roof Ventilation: Gable vents Eave Vents
Method used to observe attic: Walked Did Not Observe	Roof Structure: Stick-built 2 X 8 Rafters	Ceiling Structure: 2X6
Attic info: Attic hatch	Attic Insulation: None	


Items

1.0 ROOF COVERINGS

Comments: Repair or Replace

 (1) **FYI:** The roof inspection is a general overview of the roof's current condition. We are not roofing specialists. We cannot always accurately determine if there are active roof leaks. Often times a roof can leak due to problems or issues that are not visible at the time of the inspection. We will not be held liable for roof leaks that do not have visible issues at the time of the inspection. This includes patching of a roof. Visible evidence includes: physical damage, visible water staining at the interior ceilings, visible roof defects, improper roofing material or improper application of visible materials, worn areas, or improper and missing materials or flashings. Please understand that we do our best to determine and analyze the true condition of your roof and it's components. We try and report everything as accurately as we can. If you are concerned about any areas of this home, you are always encouraged to further evaluate any areas you have concerns about through a licensed specialist.

FYI: Patching Noted. There were some areas of the roof that have been patched. This is noted for your information. There did not appear to be any visible problems with these areas. **We are not able to determine at the time of the inspection if the roof leaks at these areas.** This is noted for your information, and as a disclaimer. Because a roof is not completely visible for this inspection, it is always recommended that a licensed roofing contractor be called out for further evaluation if the repairs cannot be verified as being done by a licensed roofing contractor.

 (2) **Exposed Nails at Field** . Roofing materials should not have exposed nails or staples; these fasteners should be covered by roofing material to decrease the chance of leaks. It was noted that there were several nail heads that were covered with Mastic however there were currently a few exposed nails found throughout the field of the roofs. Typically Three-Tab shingle are secured with 4 nails (unless installed in high wind areas where you may have 6). Nail placement is typically 1 inch from each of the sides (apx. two inches above the top of the keyway) and two inches above each keyway. In this application it does not appear that either the

Nation Wide Inspections

standards of practice or the manufactures specifications were followed. **Improper roofing installation can lead to shortened roof life expectancy and leaks.** It is recommended that this roof be further evaluated by a licensed roofing contractor and be repaired as needed.



(3) **Satellites Through Roof.** It was noted that there were a few buildings in which satellite dishes were bolted through the roof. This puts holes in the roof, increasing the risk of roof leaks and damage to the eaves. It is recommended that these dishes be removed and the holes be properly repaired by a licensed roofing contractor.

1.1 FLASHINGS

Comments: Repair or Replace

📍 (1) **Improper Installation of Drip Edge.** The felt/ underlayment of the the house drip edge was installed under the flashing. When installing drip edging at the base, the roofing felt should be installed over the top of the drip edge, and the sides should be tucked under. Improper application increases the risk of moisture penetration. It is recommended that the be corrected by a licensed roofing contractor.

(2) **Flashings Not Visible.** There were some flashings that were not visible at the time of the inspection. **This could indicate that there are no flashings at the roof penetrations, or that they were done incorrectly.** Missing or incorrect flashing greatly increases the probably of roof leaks. It is recommended that incorrect, damaged or missing flashings be repaired by a licensed roofing contractor.




1.2 SKYLIGHTS AND VENT TERMINATIONS

Comments: Inspected

1.3 ROOF VENTILATION

Comments: Repair or Replace

 **Eave Vents Blocked.** The attic is supplied with eave vents for ventilation. Although there is currently nothing physically wrong with the venting system, the vents have been covered in the attic by pigeon nests at some locations limiting the ability to effectively vent. Insufficient ventilation, can not only cause the building to not efficiently heat and cool; but it also can decrease the life expectancy of the roof. **Recommend that the nests and debris in the attic be removed from the vents to allow for proper ventilation.**



1.4 ROOF DRAINAGE SYSTEMS (gutters and downspouts)

Comments: Not Present, Repair or Replace


Nation Wide Inspections

(1) **Deteriorated Roof Drainage.** The gutter system is rusted and deteriorated in various areas of the buildings. This system is inadequate and in need of repair or replacement. It is recommended that the gutter system be repaired as needed by a licensed contractor or qualified specialist.



(2) **Gutter Needs Repair.** There were sections of the gutter system that were disconnected or pulling from the building. It is recommended that these be repaired to allow the gutters to function properly, and allow the water to drain away from the house and foundation.



 (3) **Partial Gutters.** The partial drainage system for this roof is inadequate. Roof gutters direct water away from the building and foundation and are crucial in areas with drainage issues. It is recommended a complete gutter system be supplied for each of the buildings and that the drainage system discharge away from the foundations of the buildings.

Nation Wide Inspections

(4) **Clean Gutters**. The rain gutters are filled with debris and should be cleaned out so the water can flow freely towards the drain . It is recommended that these drains be cleaned of any debris.




(5) **Gutters Terminate at Foundation**. The gutter system has a few down spouts that terminate at the building foundation. It is recommended that these termination points have fittings installed to kick water away from the house and foundation.

1.5 ROOF STRUCTURE AND ATTIC (Report leak signs or condensation)

Comments: Repair or Replace


(1) **Possible Gas Leak- See Section 8.5**

 (2) **Wood Damage**. There were several areas of wood damage noted in the attic spaces of each of the buildings (two of the buildings were not entered or inspected). There was damage to some of the wood framing and ceiling joists at several locations. It is recommended that you have a termite report conducted and you read through the report for more information about this damage and the corrections and repairs recommended.



1.6 INSULATION IN ATTIC


Comments: Not Present, Repair or Replace

 **No Insulation.** There was currently no insulation in the attics. Insulation is used to help retain the heat in the winter and help cool the building in the summer. Areas missing insulation or with inadequate insulation, will not only cause the building and units to not efficiently heat and cool; but it can also decrease the life expectancy of the roof. **Recommend replacement of missing or insufficient insulation.**



1.7 VISIBLE ELECTRIC WIRING IN ATTIC

Comments: Repair or Replace

 **Missing Electrical Boxes.** All wire connections need to be concealed within proper listed electrical boxes. Currently there are wire connections not contained with junction boxes. Junction boxes are used to conceal wire connections, protecting them from damage and decreasing the risk of fire. **Recommend installation of outlet boxes on all exposed wire connections by licensed electrician.**



The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style:

Cement stucco
wood siding

Siding Material:

Masonry
Wood

Exterior Entry Doors:

Wood

Appurtenance:

Covered porch
Balcony
With Steps
With Stairs

Driveway/ Parking Area:


Concrete
Asphalt
Shared access
Parking lot
Common Cracks
Major Cracks (Trip Hazards)
Unlevel Surfaces- Trip Hazards
Areas with Pooling Water

Items

Nation Wide Inspections

2.0 DRIVEWAY/ PARKING AREAS

Comments: Repair or Replace

 **Erosion and Damage of Asphalt.** The driveways at the front of the buildings were worn and deteriorated at multiple locations. It was noted that there were sections of the driveway that did not have adequate drainage or a proper directional slope, allowing water to puddle or run in multiple paths. There was no designated drainage running down the driveway, and there was only one visible storm drain at the base of the driveway. The driveways need patching at several locations and re-sealing. **It is recommended that the driveway be further evaluated and repaired as needed by a licensed contractor.**



2.1 STAIRS, PATIOS AND WALKWAYS

Comments: Repair or Replace

Nation Wide Inspections

(1) **NOTE:** Patching/ Repairs Noted. It was noted that there were several areas of patching or repairs noted at the exterior balconies and walkways. The type, cause and reason for repair work at these locations was not able to be determined. We will not be held liable for improper repair work that is not visible at the time of the inspection.

(2) **Improper / Damaged Support.** There were several stairs at the exterior of the buildings that did not appear to have proper support. **The connection of these stairs was not able to be fully verified.** It was however noted that the wood at the supporting fasteners was severely deteriorated at several locations and the stairs did not appear to be properly supported at the base of the upper run. **It is recommended that these areas be further evaluated and repaired as needed by a licensed contractor.**



📍 (3) **Wood Damage- Further Evaluation Needed.** The landings at several of the stairs had worn decking and damaged wood. Because the interior structural elements were not able to be inspected and the condition determined it is recommended that these areas be further evaluated. It was noted that there was evidence of water intrusion at some of these locations as well as serious wood damage at the stair connection. **Due to the severe visible wood damage, it is recommended that the interior locations of these landings be further evaluated.** It is recommended that these areas be further evaluated and repaired as needed by a licensed contractor.



Nation Wide Inspections

(4) **Wide Spacing.** The stringers at the front walkway and exterior stairs railings are currently spaced greater than 4 inches. Although this may have been standard at the time this was built, is recommended for today's standards, that the spacing of these balusters be no greater than 4 inches. This is a safety measure to help ensure that a child cannot slip through this area. **It is recommended that you add a screen or more balusters at this location.**



(5) **Large Openings.** The bottoms of the railings are currently spaced greater than 4 inches. Although this may have been standard at the time this was built, is recommended for today's standards, that the spacing of these balusters be no greater than 4 inches. This is a safety measure to help ensure that a child cannot slip through this area. **It is recommended that you add a screen or more balusters at this location.**



(6) **Damaged Stair Treads.** There were several loose and damaged treads at the front stairs of the buildings. **It is recommended for safety purposes that all damaged areas be further evaluated and repaired or replaced as needed by a licensed contractor.**



(7) **Unlevel Surfaces- Trip Hazards.** There were areas at the exterior of the building which had unlevel and raised surfaces noted . These areas may pose as a trip hazard. The cause of these unlevel surfaces are not known. It is recommended that adjustments be made to create a smooth walking surface at these locations.



Unlevel Surfaces-Trip Hazards

2.2 VEGETATION, GRADING, AND DRAINAGE

Comments: Repair or Replace

(1) **Ficus Benjamin** Note: These trees are Ficus Benjamins and are located in close proximity to the west building. **Ficus's are known to have a very shallow and evasive root system which can cause serious damage to the foundation, plumbing, and other aspects of the building.** "The United States Forest Service states "Roots can grow rapidly, invading gardens, growing under and lifting sidewalks, patios and driveways". **It is recommended that this tree be further evaluated by an arborist or other plant specialist to determine the affects it could have on the building and foundation.**



Ficus Trees Next to Building

📍 (2) **Trees Next To Building.** It was noted that there was a large tree in close proximity to the house. Some trees can have evasive root structure which can potentially cause damage to house foundations, plumbing and irrigation systems. **It is recommended that you consult an arborist or other plant specialist about this tree and the potential problems that might be associated with it.**

Nation Wide Inspections

(3) **Improper Drainage.** There are areas around the building where the drainage is poor. There were no visible surface drains noted at most of these locations. It is important that all water shed away from the building and the foundation. It was noted that there were serious drainage, moisture and venting issues at the underside of most of these buildings. It is recommended that swales, french drains or other means of drainage be provided to keep water away from the buildings and foundations.



(4) **Improper Slope.** There are areas at the front of the buildings where the grade, slopes toward the units or does not appear to have a proper directional slope . There were no visible surface drains noted at these locations. It is recommended that a swale, french drain or other means of drainage be provided to keep water away from the buildings and foundations.

2.3 DECKS, BALCONIES, PATIO COVERS AND APPLICABLE RAILINGS


Comments: Repair or Replace

Seal Balcony/ Deck Surfaces . The front balconies and walkways have penetrations and damage to the surfaces. This can allow for water penetration. It is important that the surface of this deck be kept water tight in inhibit water intrusion. There was evidence of water intrusion noted at the underside of some of the landings as well as severe wood damage. It is recommended that the surface of the exterior walkways/ balconies be further inspected and repaired as needed by a licensed contractor.



2.4 WALL CLADDING FLASHING AND TRIM

Comments: Repair or Replace

 (1) **NOTE:** There were several areas of stucco with common cracking. Some of these cracks are small and others are larger. These cracks appear to be cosmetic due to house settlement and or concrete shrinkage. There does not appear to be any evidence of structural issues. This is noted for your information and can be further evaluated if you deem necessary.

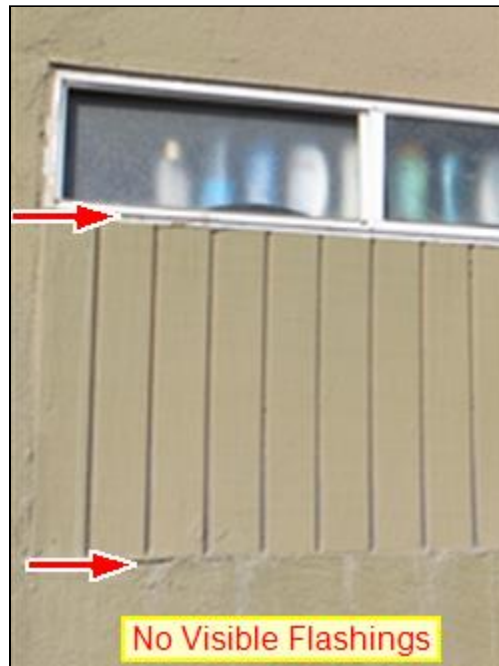
NOTE: It was noted that there were areas of patchwork as some areas of the building. The reason for this patchwork could not be determined . There were currently no problems with these areas at the time of inspection and this is noted for your information only.

NOTE: The exterior wall at the bathroom had patchwork noted. Often times, in older homes with low laying windows located in the shower, water gets into the walls and deteriorates the frame and walls of these areas. **We are not able to view the inner walls or structure at these areas.** There could be damage to the inner wall or framing at this location. Although there may not be any visible damage at the time of the inspection you may want to consider further evaluation at this location by a licensed contractor.

NOTE: Efflorescence is a (powder-like substance) of calcium/ and salt which deposit at the exterior of the block or masonry as water evaporates. In new construction this may occur through hydration as the block or masonry cures. On older block walls, this usually indicates that moisture is in contact with the masonry. Typically in these instances, efflorescence is not a structural concern, but more of an aesthetic issue. This is noted for your information and should be observed over time.

(2) **Unprotected Openings** . There were some penetrations noted at the exterior walls of the second and 4th (west) buildings. Also there were no visible flashings at the wood patching at the underside of the replaced bathroom windows. **These penetrations do not appear to be properly sealed or flashed. This can allow for water intrusion and animal infestation.** It was noted that there was internal wood damage at these locations as well as evidence of moisture. **It is recommended that these areas be patched or sealed as needed by a licensed contractor.**





(3) **Peeling Paint.** There are areas of the house that have peeling paint. These are noted at the exterior of the buildings. Because of the age of these buildings, it is best to assume that there could be lead in the paint. Caution should be used when working with the paint on this building. Any chipped or flaking paint should be removed and properly disposed of, especially if children are present. As of now, the wood does not show any signs of damage. However painting these areas will help prolong the life expectancy of the wood by keeping out moisture and the UV rays. **It is recommended that these areas be further evaluated (Lead testing if so desired) and repaired as needed by a licensed contractor.**

(4) **Discoloration and Patching of Stucco Noted.** The exterior walls at some of the bathrooms had patchwork noted. Often times, in older buildings with low laying bathroom windows (located in the shower), water can get into the walls and can deteriorate the structural framing of the walls. **We are not able to view the inner walls or structure at these areas.** There could be damage to the inner wall or framing at some locations. Although there may not be any visible damage at the time of the inspection you may want to consider further evaluation at this location by a licensed contractor. Currently there was some discoloration at the exterior stucco at a few locations. **It is recommended that these areas be further evaluated and repaired as needed by a licensed contractor.**

(5) **Delamination of Stucco.** There was some delamination of stucco noted at the exterior of the 2nd 3rd and 4th building. The stucco is beginning to delaminate at the exterior of the buildings. Although there are many causes of delamination, most often, it is due to excess moisture wicking into the stucco, and causing it to fail. **This is a cosmetic fix but, but efforts should be made to keep the area around the building and foundation dry.**



(6) **Patching Needed.** There are some areas of stucco that have some areas of damage or need to be patched or sealed. These areas should be patched. It is recommended that these areas be patched by a licensed contractor.


(7) **Interior Wood at Exterior.** There were some areas of trim work that were installed with interior rated wood. Interior wood is not designed for exterior use. It was noted that the wood at these locations has become swollen and damaged. This was noted at the underside of the balcony flashing at the second building. It is recommended that these areas be further evaluated and repaired as needed by a licensed contractor.



Nation Wide Inspections


2.5 WINDOW SCREENS

Comments: Repair or Replace

 **Bent/ Damaged Screens.** There were several bent, missing or damaged screens noted at the windows at each of the 4 buildings. **It is recommended that all damaged or missing screens be replaced at your convenience.**

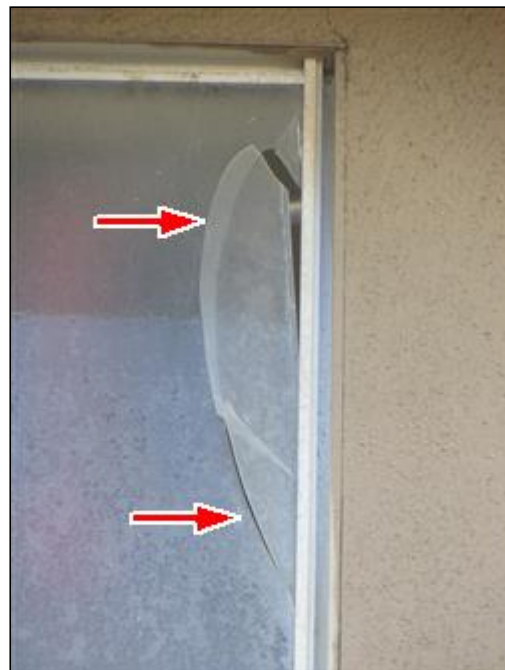
2.6 WINDOWS

Comments: Repair or Replace

 (1) **NOTE:** There are a few windows in this home that have been replaced. Retrofit windows often require permitting- depending on the local authority. It is not known if this city requires permits for the installation of these windows. Due to the nature of these windows, we are not able to verify that the flashings have been done correctly. It is recommended that you check with the local authority to determine if permits are required for the installation of these windows. If permits are not required, or were not taken out, these windows should be further evaluated by a licensed contractor specializing in window installation.

(2) **NOTE:** **Due to the age of this house, the original windows of this home are plate glass.** In newer construction, windows in hazardous locations (within 18 inches from the ground, within 24 inches from a door, at the bottom of a stairwell. All glass within a door, and within areas of a pool...) are required to be equipped with safety glass. Glass which is less likely to cause severe injury when broken. Due to the year in which this house was constructed, safety glass was not installed. If any of the glass windows were to break, the glass will be very sharp, and break in large shards . **It is recommended** that if glass is replaced in hazardous locations, it be equipped with safety or tempered glass. This is noted for your safety and information. Care should be taken with these windows.

(3) **Broken Windows.** There are multiple window(s) that are broken or are missing and need replacement. **See the INTERIOR sections of each unit for specific locations of these windows.** **Due to the extreme hazard that this creates, it is recommended that this window be replaces ASAP by a licensed contractor.**



Nation Wide Inspections

(4) **Caulk Windows.** There was a replaced window at the front of unit #1 that was not properly sealed and caulked. It is recommended that a new bead of caulking be provided around the windows.




(5) **Broken Window Seals.** There were a few windows at the rear of the first building that have damaged seal(s) and there appears to be condensation within the window panes. Typically this is an indication that the seals have expired and the low-e gases have escaped. **Currently these windows no longer are energy efficient.** Due to climatic and weather conditions, some windows may not show signs indicating that there are issues present. We cannot always determine if seals are broken and will not be held liable for broken window seals. Currently it appears that there are at least 2 windows that appear to have damaged seals. It is recommended that all of the windows be further evaluated for potential damage and repaired as needed by a licensed contractor or specialist.



2.7 DOORS (Exterior)

Comments: Repair or Replace

 (1) **NOTE:** Many of the exterior doors are constructed of wood. During certain weather conditions the wood may expand or contract due to moisture content. This may affect the function of these doors. It was

Nation Wide Inspections

noted that some of the doors were difficult to close and would rub at the frame or other door. This is noted for your information.

(2) **Cant Verify Tempered.** The exterior rear sliders (at several of the units) contains glass that could not be verified as being safety glass . Tempered glass is a safety glazing that is now required in hazardous locations. It is usually indicated as being such by labeling in corner of pane. This is for your knowledge, and precautions should be taken. **Recommend further analysis and replacement if necessary.**

(3) **Weathered/ Damaged Doors.**

There are several door(s) at the front of the buildings that are worn or damaged. Finishing/ painting the wood will help preserve the wood increasing the life expectancy. **It is recommended that all weathered doors be painted or sealed by a qualified person.**




2.8 RETAINING WALLS

Comments: Not Present

2.9 EAVES, SOFFITS AND FASCIAS

Comments: Repair or Replace

 **Wood Damage.** There was some extensive wood damage noted at several areas of eaves and fascia of the buildings. **It is recommended that a termite report be conducted and that all reports about damaged materials be read.** All damaged wood should be properly repaired or replaced as needed according the the report by a licensed contractor.




2.10 PLUMBING WATER FAUCETS (hose bibs)

Comments: Not Inspected

2.11 EXTERIOR LIGHT FIXTURES AND OUTLETS

Comments: Repair or Replace

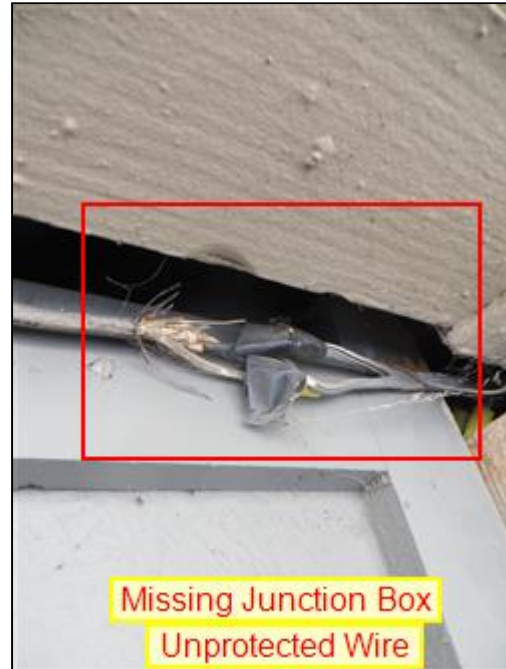
 (1) **NOTE: GFCI Protection.** Although GFCI protected outlets may not have been required at all exterior locations at the time in which this house was constructed, it is recommended all exterior outlets be listed for outdoor use (with covers) and be GFCI protected. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL exterior outlets to be GFCI protected by a licensed electrician.

Nation Wide Inspections

(2) **Missing Electrical Boxes.** All wire connections need to be concealed within proper listed electrical boxes.

Currently there are wire connections not contained with junction boxes. This was noted at the garages at the left (east side) of the property. Junction boxes are used to conceal wire connections, protecting them from damage and decreasing the risk of fire.

Recommend installation of outlet boxes on all exposed wire connections by licensed electrician.



(3) **INOP Light... Bulb?** One of the exterior light fixtures did not operate when fixture was turned on. This could be because the fixture bulbs need replacement, OR there could be an electrical problem with the fixture. Recommend changing lights bulbs to determine the problem and replace as needed.

Missing Bulbs. There was at least one exterior light fixture did not operate when fixture was turned on. **There were currently no bulbs at the fixtures.** Because of this, the fixtures could not be tested or inspected for proper working order.

Recommend inserting light bulbs to determine if a greater problem exists.



(4) **Missing Globe at Light.** The cover for the exterior light was missing. It is recommended that this light be provided with a proper cover.

Nation Wide Inspections


(5) Improper Location/ Use of Romex

The use of Romex or NM-B wiring at the underside of the eaves is not permitted. Romex is not permitted in wet or damp locations. It is recommended that all Romex wiring at these locations be further evaluated and changed to an appropriate material by a licensed electrician.



2.12 Screens and Vents

Comments: Repair or Replace

 **Improper, Missing and Additional Venting Screens Needed.** The crawlspace at three of the buildings have minimal venting provided, and the current screens and access openings inhibit proper airflow to the crawlspace. It was noted that several holes have been knocked into the front of the wall of the second building to add additional venting. These openings should be properly flashed and have proper screens provided. It is recommended that the venting of these areas be further evaluated and repaired as needed by a licensed contractor.

2.13 OTHER NOTES:

Comments: Not Inspected

NOTE: Asbestos and Lead Information. Due to the age of construction, this house may have been built with materials that contain the use of asbestos and or lead. These materials can pose serious health risks if damaged, disturbed or ingested. **We are not able to determine if the materials used during construction contain either of these items.** If you are concerned about the effects or presence of Asbestos or Lead in this home, it is recommended that a specialist be called out to take samples and have them professionally tested at a lab. For more information about these materials and their health risks please follow the provided links:

Lead Based Paint:

http://portal.hud.gov/hudportal/HUD?src=/program_offices/healthy_homes/healthyhomes/lead

http://en.wikipedia.org/wiki/Lead_paint

Asbestos:

<http://en.wikipedia.org/wiki/Asbestos>

<http://www.cancer.gov/cancertopics/factsheet/Risk/asbestos>

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage or Carport

Styles & Materials

Garage Door Type:

N/A

Garage Door Material:

Wood

Auto-opener Manufacturer:

UNKNOWN


Items

3.0 EXTERIOR WALLS & ROOF

Comments: Repair or Replace

(1) **NOTE:** There were several areas of stucco with common cracking. Some of these cracks are small and others are larger. These cracks appear to be cosmetic due to house settlement and or concrete shrinkage. There does not appear to be any evidence of structural issues. This is noted for your information and can be further evaluated if you deem necessary.

NOTE: It was noted that there were areas of patchwork as some areas of the building. The reason for this patchwork could not be determined. There were currently no problems with these areas at the time of inspection and this is noted for your information only.

 (2) **Exterior Wall Damage.** There is some damage to the exterior rear wall of the right (east) parking garages. The rear wall is bowing out with stucco damage and exposed paper and lathing. It appears that the structure of the wall has been damaged at this location. **Access to the interior of the garages and this location was not accessible and not able to be viewed or inspected.** The garages were locked. **It is recommended that this area be further evaluated and repaired as needed by a licensed contractor.**



(3) **High Soil Level.** There was a location at the rear of the (east Side) garages in which the soil level was a bit high. Improper soil level can allow for moisture intrusion and structural damage. **It is recommended that the soil at the back of this garage be properly leveled and the interior of the garage wall at this location be further evaluated for damage and repaired as needed.**



(4) **Delamination of Stucco.** There was some delamination of stucco noted at the exterior walls of the parking garages. The stucco is beginning to delaminate at the exterior of the buildings. Although there are many causes of delamination, most often, it is due to excess moisture wicking into the stucco, and causing it to fail. **This is a cosmetic fix but, but efforts should be made to keep the area around the building and foundation dry.**



(5) **Wood Damage.** There were several locations which had wood damage at some of the interior garages. This damage was noted at the front of the garage door framing on the second and third buildings. **Some of the wood at these locations was not designed for exterior use and has begun to deteriorate at several**

locations. It is recommended that all damaged wood be further evaluated and repaired or replaced as needed by a licensed contractor.




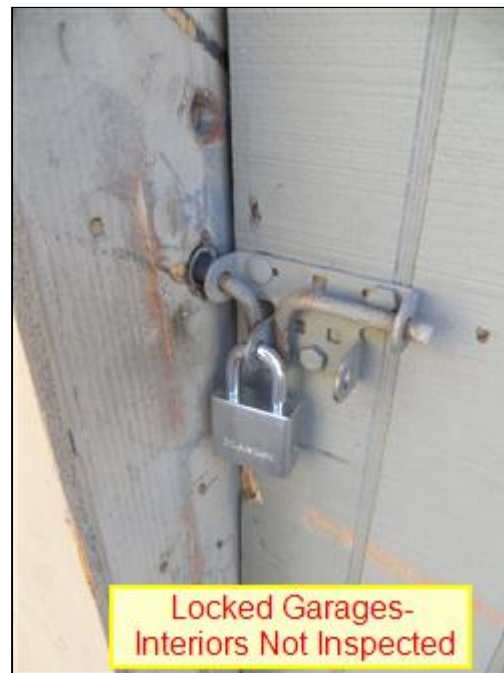
3.1 GARAGE CEILINGS

Comments: Not Inspected

3.2 GARAGE WALLS (INCLUDING FIREWALL SEPARATION)

Comments: Not Inspected, Repair or Replace

 **Locked Garages- Interiors Not Inspected.** The garages to the units were locked and the interiors were not able to be viewed or inspected. **It is important to ensure that there are no penetrations in the fire rated walls and ceilings at these locations.** Penetrations at these locations can allow for carbon monoxide and fire to spread into the adjoining units. It is recommended that the garaged be further evaluated and that any penetrations at these locations be repaired as needed by a licensed contractor.




3.3 GARAGE FLOOR

Comments: Not Inspected

Nation Wide Inspections

3.4 GARAGE DOOR (S)

Comments: Repair or Replace

 **Wood Damage.** There was some wood damaged noted at the garage doors of some of the units. Some of the wood was replaced with OSB, which is not rated for exterior use without proper protection. This is noted for your information and can be repaired at your convenience.



3.5 GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)

Comments: Not Inspected

3.6 OUTLETS AND WIRING

Comments: Not Inspected

4(A) . Building 1 Unit A - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items


4.0.A COUNTERS AND SINK

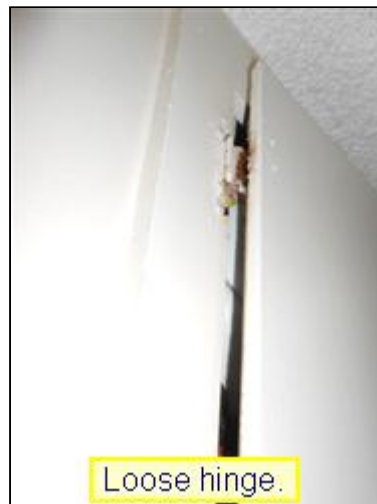
Comments: Inspected

4.1.A CABINETRY

Comments: Repair or Replace

Nation Wide Inspections

 **Loose Hinges.** There was at least one loose hinge noted at one of the cabinets. It is recommended that this hardware be secured, repaired or replaced to ensure proper function of cabinet hardware.



4.2.A FLOORS

Comments: Inspected

4.3.A WALLS

Comments: Inspected

4.4.A CEILINGS

Comments: Inspected

4.5.A PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.6.A PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.7.A OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **Ungrounded Outlets with No GFCI.** There outlets in the kitchen that were not grounded and not GFCI protected. It is recommended that all outlets within 6' (six feet) of any water source be grounded OR replaced with an GFCI protected outlet by a licensed electrician.



4.8.A RANGES/OVENS/COOKTOPS

Comments: Inspected

4.9.A FOOD WASTE DISPOSER

Comments: Inspected

Nation Wide Inspections

4.10.A RANGE HOOD

Comments: Inspected

4.11.A GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(B) . Building 1 Unit B - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:

CHANGE FILTER


Items

4.0.B COUNTERTOPS AND SINK

Comments: Inspected

4.1.B CABINERY

Comments: Repair or Replace

 **Loose Hinges.** There was at least one loose hinge noted at one of the cabinets. It is recommended that this hardware be secured, repaired or replaced to ensure proper function of cabinet hardware.



Nation Wide Inspections

4.2.B FLOORS

Comments: Inspected

4.3.B WALLS

Comments: Inspected

Growth on walls. There were walls in the kitchen where growth was noted. It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.

4.4.B CEILINGS

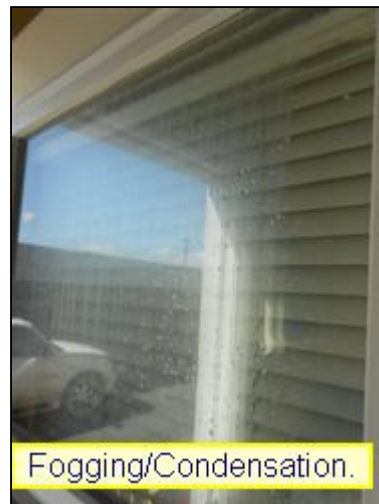
Comments: Inspected

NOTE: There were areas of patchwork noted at the kitchen ceiling. There did not appear to be any problems with the ceiling or the structure and this is noted only for your information.

4.5.B WINDOWS

Comments: Repair or Replace

Dislodged Seal. The seal at the kitchen window was dislodged and there was fogging and condensation present within the panes. This is noted for your information and can be repaired by a window specialist.



4.6.B PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.B PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.B OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4.9.B RANGES/OVENS/COOKTOPS

Comments: Inspected

Nation Wide Inspections

4.10.B FOOD WASTE DISPOSER

Comments: Inspected

4.11.B RANGE HOOD

Comments: Inspected

4.12.B GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(C) . Building 1 Unit C - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items


4.0.C COUNTERTOPS AND SINK

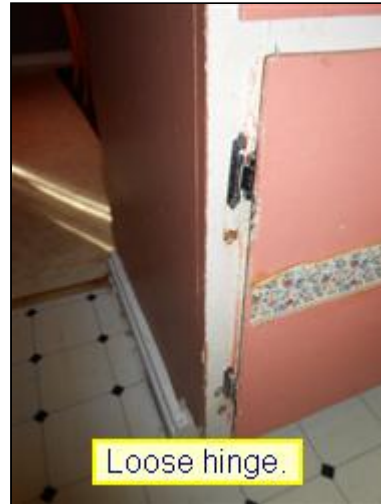
Comments: Inspected

4.1.C CABINETRY

Comments: Repair or Replace

Nation Wide Inspections

 **Loose Hinges.** There was at least one loose hinge noted at one of the cabinets. It is recommended that this hardware be secured, repaired or replaced to ensure proper function of cabinet hardware.



4.2.C FLOORS

Comments: Inspected

4.3.C WALLS

Comments: Inspected

4.4.C CEILINGS

Comments: Inspected

4.5.C WINDOWS

Comments: Inspected

4.6.C PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.C PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected


4.8.C OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4.9.C FOOD WASTE DISPOSER

Comments: Repair or Replace

 **Inoperative Garbage Disposer.** The Garbage disposer did not work at time of inspection. The unit did not function or make a noise when turned "ON". It is possible that the rotors were locked, It was not determined at the time of the inspection if this unit can be corrected or will need to be replaced . It is recommended that this be repaired or replaced by a licensed professional.

4.10.C GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(D) . Building 1 Unit D - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.D COUNTERS AND SINK

Comments: Inspected

4.1.D CABINERY

Comments: Inspected

4.2.D FLOORS

Comments: Inspected

4.3.D WALLS

Comments: Inspected

4.4.D CEILINGS

Comments: Inspected

4.5.D WINDOWS

Comments: Inspected

4.6.D PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.D PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.D OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.D RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.D FOOD WASTE DISPOSER

Comments: Inspected

4.11.D RANGE HOOD

Comments: Inspected

4.12.D GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(E) . Building 1 Unit E - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:


CHANGE FILTER

Items

4.0.E COUNTERS AND SINK

Comments: Repair or Replace

Nation Wide Inspections

 **Missing Screen.** It was noted that the screen at the kitchen faucet was missing causing water to flow out unevenly. It is recommended that a screen be installed by a qualified person.



4.1.E CABINetry

Comments: Inspected

4.2.E FLOORS

Comments: Inspected

4.3.E WALLS

Comments: Inspected

4.4.E CEILINGS

Comments: Inspected

4.5.E WINDOWS

Comments: Inspected

4.6.E PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.E PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.E OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4.9.E RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.E RANGE HOOD

Comments: Inspected

4.11.E GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(F) . Building 1 Unit F - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.F COUNTERS AND SINK

Comments: Inspected

4.1.F CABINETRY

Comments: Inspected

4.2.F FLOORS

Comments: Inspected

4.3.F WALLS

Comments: Inspected

4.4.F CEILINGS

Comments: Inspected

4.5.F WINDOWS

Comments: Inspected

4.6.F PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.F PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.F OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.F RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.F RANGE HOOD

Comments: Inspected

4.11.F GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(G) . Building 1 Unit G - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.G COUNTERS AND SINK

Comments: Inspected

4.1.G CABINERY

Comments: Inspected

4.2.G FLOORS

Comments: Inspected

4.3.G WALLS

Comments: Inspected

Nation Wide Inspections

4.4.G CEILINGS

Comments: Inspected

4.5.G WINDOWS

Comments: Inspected

4.6.G PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.G PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.G OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.G RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.G FOOD WASTE DISPOSER

Comments: Inspected

4.11.G RANGE HOOD

Comments: Inspected

4.12.G GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(H) . Building 1 Unit H - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Nation Wide Inspections


Exhaust/Range hood:

CHANGE FILTER

Items

4.0.H COUNTERS AND SINK

Comments: Repair or Replace

 **Damaged counter top.** There are multiple areas of counter top that are worn and damaged. Severe damaged areas should be repaired replaced as needed . It is recommended that further evaluation is needed by a licensed contractor.



4.1.H CABINETS

Comments: Inspected

4.2.H FLOORS

Comments: Inspected

4.3.H WALLS

Comments: Inspected

4.4.H CEILINGS

Comments: Inspected

4.5.H WINDOWS

Comments: Inspected

4.6.H PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.H PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.H OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

Nation Wide Inspections

4.9.H RANGES/OVENS/COOKTOPS


Comments: Inspected

4.10.H FOOD WASTE DISPOSER

Comments: Inspected

4.11.H RANGE HOOD

Comments: Repair or Replace

 **Inoperative Hood System.** The hood fan and the light did not work at the time of the inspection. The cause of this could not be determined at the time of the inspection. It is recommended that this be further inspected or replaced by a licensed contractor.



4.12.H GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(I) . Building 1 Unit I - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.I COUNTERS AND SINK

Comments: Inspected

Nation Wide Inspections

4.1.I CABINETRY

Comments: Inspected

4.2.I FLOORS

Comments: Inspected

4.3.I WALLS

Comments: Inspected

4.4.I CEILINGS

Comments: Inspected

4.5.I WINDOWS

Comments: Inspected

4.6.I PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.I PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.I OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.I RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.I FOOD WASTE DISPOSER

Comments: Inspected

4.11.I RANGE HOOD

Comments: Inspected

4.12.I GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(J) . Building 1 Unit J - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Laminate

Flooring:

Wood Like Material

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.J COUNTERS AND SINK

Comments: Inspected

4.1.J CABINETRY

Comments: Inspected

4.2.J FLOORS

Comments: Inspected

4.3.J WALLS

Comments: Inspected

4.4.J CEILINGS

Comments: Inspected

4.5.J WINDOWS

Comments: Inspected

4.6.J PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.J PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.J OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.J RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.J FOOD WASTE DISPOSER

Comments: Inspected

Nation Wide Inspections

4.11.J RANGE HOOD

Comments: Inspected

4.12.J GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(K) . Building 1 Unit K - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum


Exhaust/Range hood:

CHANGE FILTER

Items

4.0.K COUNTERTOPS AND SINK

Comments: Repair or Replace

 **Caulking Needed.** There are some areas that needed caulking at the counter backsplash. Gaps or missing grout, around this area can lead to water intrusion and moisture issues. It is recommended that the sink be properly caulked at these locations.




4.1.K CABINETRY

Comments: Inspected

Nation Wide Inspections

4.2.K FLOORS

Comments: Repair or Replace

 **Floor Damage.** There were areas of flooring that either had minor damage. **This is noted for your information.**



4.3.K WALLS

Comments: Inspected

4.4.K CEILINGS

Comments: Inspected

4.5.K WINDOWS

Comments: Inspected

4.6.K PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.K PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.K OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace


 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.K RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.K FOOD WASTE DISPOSER

Comments: Repair or Replace

 **Inoperative Garbage Disposer.** The Garbage disposer did not work at time of inspection. The unit did not function or make a noise when turned "ON". It is possible that the rotors were locked, It was not determined at the time of the inspection if this unit can be corrected or will need to be replaced . **It is recommended that this be repaired or replaced by a licensed professional.**

4.11.K RANGE HOOD

Comments: Inspected

4.12.K GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(L) . Building 1 Unit L - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.L COUNTERS AND SINK

Comments: Inspected

4.1.L CABINETRY

Comments: Inspected

4.2.L FLOORS

Comments: Inspected

4.3.L WALLS

Comments: Inspected

4.4.L CEILINGS

Comments: Inspected

4.5.L WINDOWS

Comments: Inspected

4.6.L PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected


4.7.L PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.L OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

Nation Wide Inspections

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.L RANGES/OVENS/COOKTOPS


Comments: Inspected

4.10.L FOOD WASTE DISPOSER

Comments: Inspected

4.11.L RANGE HOOD

Comments: Repair or Replace

 **Inoperative Vent Fan.** The hood did not work at the time of the inspection. The cause of this could not be determined at the time of the inspection. **It is recommended that this be further inspected or replaced by a licensed contractor.**



4.12.L GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(M) . Building 1 Unit M - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Nation Wide Inspections

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.M COUNTERS AND SINK

Comments: Inspected

4.1.M CABINERY

Comments: Inspected

4.2.M FLOORS

Comments: Inspected

4.3.M WALLS

Comments: Inspected

4.4.M CEILINGS

Comments: Inspected

4.5.M WINDOWS

Comments: Inspected

4.6.M PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.M PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.M OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.M RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.M RANGE HOOD

Comments: Inspected

4.11.M GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(N) . Building 1 Unit N - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.N COUNTERS AND SINK

Comments: Inspected

4.1.N CABINTRY

Comments: Inspected

4.2.N FLOORS

Comments: Inspected

4.3.N WALLS

Comments: Inspected

4.4.N CEILINGS

Comments: Inspected

4.5.N WINDOWS

Comments: Inspected

4.6.N PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.N PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.N OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.N RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.N FOOD WASTE DISPOSER

Comments: Inspected

Nation Wide Inspections

4.11.N RANGE HOOD

Comments: Inspected

4.12.N GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(O) . Building 2 Unit L - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.O COUNTERS AND SINK

Comments: Inspected

4.1.O CABINETRY

Comments: Inspected

4.2.O FLOORS

Comments: Inspected

4.3.O WALLS

Comments: Inspected

4.4.O CEILINGS

Comments: Inspected

4.5.O WINDOWS

Comments: Inspected

4.6.O PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected


4.7.O PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

Nation Wide Inspections

4.8.O OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.O RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.O FOOD WASTE DISPOSER

Comments: Inspected

4.11.O RANGE HOOD

Comments: Inspected

4.12.O GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(P) . Building 2 Unit M - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Items

4.0.P COUNTERS AND SINK

Comments: Inspected

4.1.P CABINetry

Comments: Inspected

4.2.P FLOORS

Comments: Inspected

Nation Wide Inspections

4.3.P WALLS

Comments: Inspected

4.4.P CEILINGS

Comments: Inspected

4.5.P WINDOWS

Comments: Inspected

4.6.P PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.P PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.P OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.P RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.P FOOD WASTE DISPOSER

Comments: Inspected

4.11.P RANGE HOOD

Comments: Inspected

4.12.P GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(Q) . Building 2 Unit N - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Nation Wide Inspections

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.Q COUNTERTOPS AND SINK

Comments: Inspected

4.1.Q CABINETS

Comments: Inspected

4.2.Q FLOORS

Comments: Inspected

4.3.Q WALLS

Comments: Repair or Replace



Growth on walls. There were walls in the kitchen that where growth was noted. It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.

**4.4.Q CEILING**

Comments: Inspected

4.5.Q WINDOWS

Comments: Inspected

4.6.Q PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.Q PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.Q OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

Nation Wide Inspections

4.9.Q RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.Q FOOD WASTE DISPOSER

Comments: Inspected

4.11.Q RANGE HOOD

Comments: Inspected

4.12.Q GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(R) . Building 2 Unit O - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.R COUNTERS AND SINK

Comments: Inspected

4.1.R CABINETRY

Comments: Inspected

4.2.R FLOORS

Comments: Inspected

4.3.R WALLS

Comments: Inspected

4.4.R CEILINGS

Comments: Inspected

4.5.R WINDOWS

Comments: Inspected


Nation Wide Inspections

4.6.R PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.R PLUMBING DRAIN AND VENT SYSTEMS


Comments: Repair or Replace

 **Leak Under Sink.** The waste line is leaking at the underside of the kitchen sink. It is recommended that a qualified, licensed, plumber be called out to repair or correct as needed.



4.8.R OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4.9.R RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.R FOOD WASTE DISPOSER

Comments: Inspected

4.11.R RANGE HOOD

Comments: Inspected

4.12.R GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(S) . Building 2 Unit P - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.S COUNTERS AND SINK


Comments: Inspected

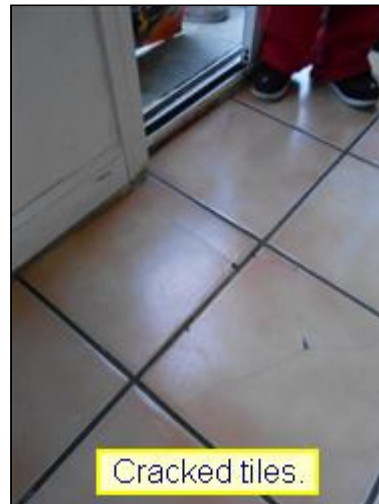
4.1.S CABINETRY

Comments: Inspected

4.2.S FLOORS

Comments: Repair or Replace

 **Cracked Tiles.** There was at least one tile that was cracked at the floor tile in the kitchen. This is noted for your information and can be repaired at your convenience if so desired.



4.3.S WALLS

Comments: Inspected

4.4.S CEILINGS

Comments: Inspected

4.5.S WINDOWS

Comments: Repair or Replace



Cracked Window. There was a cracked in the window at the kitchen. It is recommended, for safety purposes, that this window be repaired or replaced by a qualified professional.



4.6.S PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.S PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.S OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.S RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.S RANGE HOOD

Comments: Inspected

4.11.S GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(T) . Building 2 Unit Q - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.T COUNTERTOPS AND SINK

Comments: Inspected

4.1.T CABINETS

Comments: Inspected

4.2.T FLOORS

Comments: Inspected

4.3.T WALLS

Comments: Inspected

4.4.T CEILINGS

Comments: Inspected

4.5.T WINDOWS

Comments: Inspected

4.6.T PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.T PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.T OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.T RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.T FOOD WASTE DISPOSER

Comments: Repair or Replace

Nation Wide Inspections



Inoperative Garbage Disposer.

The Garbage disposer did not work at time of inspection. The unit did not function or make a noise when turned "ON". It is possible that the rotors were locked, It was not determined at the time of the inspection if this unit can be corrected or will need to be replaced . It is recommended that this be repaired or replaced by a licensed professional.



4.11.T RANGE HOOD

Comments: Inspected

4.12.T GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(U) . Building 2 Unit R - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.U COUNTERS AND SINK

Comments: Repair or Replace

Nation Wide Inspections

📍 (1) **Caulking Needed.** There are some areas where caulking is needed at the counter backsplash. Gaps or missing grout, around this area can lead to water intrusion and moisture issues. It is recommended that the sink be properly caulked at these locations.



📍 (2) **Growth under sink.** There was growth under the kitchen sink noted. It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.



4.1.U CABINETRY

Comments: Inspected

4.2.U FLOORS

Comments: Repair or Replace

📍 **Loose Tiles.** There were several loose tiles in the kitchen. This is noted for your information and can be repaired at your convenience if so desired.



Nation Wide Inspections

4.3.U WALLS

Comments: Inspected

4.4.U CEILINGS

Comments: Inspected

4.5.U WINDOWS

Comments: Inspected

4.6.U PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.U PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.U OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.U RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.U FOOD WASTE DISPOSER

Comments: Inspected

4.11.U RANGE HOOD

Comments: Inspected

4.12.U GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(V) . Building 2 Unit S - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Nation Wide Inspections

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.V COUNTERS AND SINK

Comments: Inspected

4.1.V CABINETRY

Comments: Inspected

4.2.V FLOORS

Comments: Inspected

4.3.V WALLS

Comments: Inspected

4.4.V CEILINGS

Comments: Inspected

4.5.V WINDOWS

Comments: Inspected

4.6.V PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.V PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.V OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.V RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.V RANGE HOOD

Comments: Inspected

4.11.V GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(W) . Building 2 Unit T - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.W COUNTERTOPS AND SINK

Comments: Inspected

4.1.W CABINETS

Comments: Inspected

4.2.W FLOORS

Comments: Inspected

4.3.W WALLS

Comments: Inspected

4.4.W CEILINGS

Comments: Inspected

4.5.W WINDOWS

Comments: Inspected

4.6.W PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.W PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.W OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

Nation Wide Inspections

4.9.W RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.W RANGE HOOD

Comments: Inspected

4.11.W GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(X) . Building 2 Unit U - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.X COUNTERTOPS AND SINK

Comments: Inspected

4.1.X CABINETS

Comments: Inspected

4.2.X FLOORS

Comments: Inspected

4.3.X WALLS

Comments: Inspected

4.4.X CEILINGS

Comments: Inspected

4.5.X WINDOWS

Comments: Inspected

4.6.X PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

Nation Wide Inspections

4.7.X PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.X OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

📍 (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

(2) **Hot/ Neutral reversed.** There was an outlet in the kitchen that has been incorrectly wired and, the hot and neutral have been reversed. **This is improper and should be corrected by a licensed electrician.**



4.9.X RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.X FOOD WASTE DISPOSER

Comments: Inspected

4.11.X RANGE HOOD

Comments: Inspected

4.12.X GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(Y) . Building 2 Unit V - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.Y COUNTERS AND SINK

Comments: Inspected

4.1.Y CABINETRY

Comments: Inspected

4.2.Y FLOORS

Comments: Inspected

4.3.Y WALLS

Comments: Inspected

4.4.Y CEILINGS

Comments: Inspected

4.5.Y WINDOWS

Comments: Inspected

4.6.Y PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.Y PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.Y OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.Y RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.Y RANGE HOOD

Comments: Inspected

4.11.Y GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(Z) . Building 2 Unit W - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.Z COUNTERS AND SINK

Comments: Inspected

4.1.Z CABINETRY

Comments: Inspected

4.2.Z FLOORS

Comments: Inspected

4.3.Z WALLS

Comments: Inspected

4.4.Z CEILINGS

Comments: Inspected

4.5.Z WINDOWS

Comments: Inspected

4.6.Z PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.Z PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.Z OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.Z RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.Z FOOD WASTE DISPOSER

Comments: Inspected

4.11.Z RANGE HOOD

Comments: Inspected

4.12.Z GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(AA) . Building 2 Unit X - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.AA COUNTERTOPS AND SINK

Comments: Inspected

4.1.AA CABINETRY

Comments: Inspected

4.2.AA FLOORS

Comments: Repair or Replace

Nation Wide Inspections



Linoleum Damage. The linoleum flooring in the kitchen is worn and has some minor damage. It is recommended that this flooring be repaired or replaced at your convenience.



4.3.AA WALLS

Comments: Inspected

4.4.AA CEILINGS

Comments: Inspected

4.5.AA WINDOWS

Comments: Inspected

4.6.AA PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

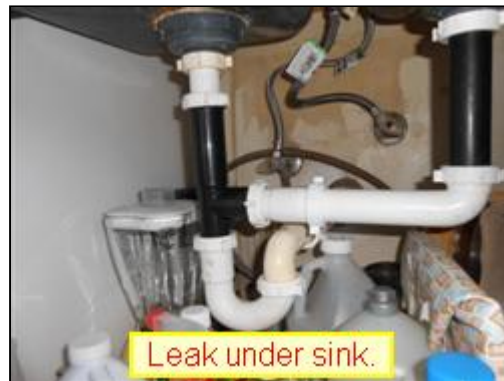
Comments: Inspected

4.7.AA PLUMBING DRAIN AND VENT SYSTEMS

Comments: Repair or Replace



Leak Under Sink. The waste line is leaking at the underside of the kitchen sink. It is recommended that a qualified, licensed, plumber be called out to repair or correct as needed.



4.8.AA OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

Nation Wide Inspections

4.9.AA RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.AA RANGE HOOD

Comments: Inspected

4.11.AA GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(BB) . Building 2 Unit Y - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.BB COUNTERS AND SINK

Comments: Inspected

4.1.BB CABINetry

Comments: Inspected

4.2.BB FLOORS

Comments: Inspected

4.3.BB WALLS

Comments: Inspected

4.4.BB CEILINGS

Comments: Inspected

4.5.BB WINDOWS

Comments: Inspected

4.6.BB PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected


Nation Wide Inspections

4.7.BB PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.BB OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace


 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.BB RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.BB FOOD WASTE DISPOSER


Comments: Repair or Replace

 **Inoperative Garbage Disposer.** The Garbage disposer did not work at time of inspection. The unit did not function or make a noise when turned "ON". It is possible that the rotors were locked, It was not determined at the time of the inspection if this unit can be corrected or will need to be replaced . **It is recommended that this be repaired or replaced by a licensed professional.**



4.11.BB RANGE HOOD

Comments: Repair or Replace

 **Inoperative Vent Fan.** The hood did not work at the time of the inspection. The cause of this could not be determined at the time of the inspection. **It is recommended that this be further inspected or replaced by a licensed contractor.**




4.12.BB GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

4.13.BB Other

Comments: Repair or Replace

 **Water Damage to Cabinet.** The cabinet in the kitchen has water damage at the underside of the sink. This cabinet is made of particle board which swells and warps when damaged. Once this material has had water damage it loses its strength, and warps. It is recommended that this vanity be replaced to limit the possibility of mold.



The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(CC) . Building 2 Unit Z - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.CC COUNTERTOPS AND SINK

Comments: Inspected

4.1.CC CABINETS

Comments: Inspected

Nation Wide Inspections

Water Damage With Musty Smell.

The cabinet at the underside of the kitchen counter shows evidence of past water damage and there is a strong musty smell. **This may indicate that there are greater problems at this location and further evaluation is highly recommended to ensure there is no growth that was not visible at the time of the inspection. It is recommended that this area be further evaluated for potential growth and damage by a licensed contractor and repaired as needed.**



4.2.CC FLOORS

Comments: Inspected

4.3.CC WALLS

Comments: Inspected

4.4.CC CEILINGS

Comments: Inspected

4.5.CC WINDOWS

Comments: Inspected

4.6.CC PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.CC PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.CC OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.CC RANGES/OVENS/COOKTOPS

Comments: Inspected


4.10.CC FOOD WASTE DISPOSER

Comments: Inspected

4.11.CC RANGE HOOD

Comments: Repair or Replace

Nation Wide Inspections

 **Inoperative Vent Fan.** The hood did not work at the time of the inspection. The cause of this could not be determined at the time of the inspection. It is recommended that this be further inspected or replaced by a licensed contractor.




4.12.CC GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

4.13.CC Other

Comments: Repair or Replace

 **Active Leak.** It appears that there may be a leak under the refrigerator. Pooling water was noted. It is advised that this be further evaluated by an appliance repair person.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(DD) . Building 3 Unit J - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.DD COUNTERS AND SINK

Comments: Not Inspected

4.1.DD CABINetry

Comments: Not Inspected

4.2.DD FLOORS

Comments: Not Inspected

Nation Wide Inspections

4.3.DD WALLS

Comments: Not Inspected

4.4.DD CEILINGS

Comments: Not Inspected

4.5.DD WINDOWS

Comments: Not Inspected

4.6.DD PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Not Inspected

4.7.DD PLUMBING DRAIN AND VENT SYSTEMS

Comments: Not Inspected

4.8.DD OUTLETS WALL SWITCHES and FIXTURES

Comments: Not Inspected

4.9.DD RANGES/OVENS/COOKTOPS

Comments: Not Inspected

4.10.DD FOOD WASTE DISPOSER

Comments: Not Inspected

4.11.DD RANGE HOOD

Comments: Not Inspected

4.12.DD GENERAL NOTE:

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(EE) . Building 3 Unit K - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.EE COUNTERS AND SINK

Comments: Inspected

Nation Wide Inspections

4.1.EE CABINETS

Comments: Inspected

4.2.EE FLOORS

Comments: Inspected

4.3.EE WALLS

Comments: Inspected

4.4.EE CEILINGS

Comments: Inspected

4.5.EE WINDOWS

Comments: Inspected

4.6.EE PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.EE PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.EE OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.EE RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.EE RANGE HOOD

Comments: Inspected

4.11.EE GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(FF) . Building 4 Unit A - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.FF COUNTERS AND SINK

Comments: Inspected

4.1.FF CABINETRY

Comments: Inspected

4.2.FF FLOORS

Comments: Inspected

4.3.FF WALLS

Comments: Inspected

4.4.FF CEILINGS

Comments: Inspected

4.5.FF WINDOWS

Comments: Inspected

4.6.FF PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.FF PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.FF OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.FF RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.FF FOOD WASTE DISPOSER

Comments: Inspected

Nation Wide Inspections

4.11.FF RANGE HOOD

Comments: Inspected

4.12.FF GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(GG) . Building 4 Unit B - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.GG COUNTERS AND SINK

Comments: Inspected

4.1.GG CABINTRY

Comments: Inspected

4.2.GG FLOORS

Comments: Inspected

4.3.GG WALLS

Comments: Inspected

4.4.GG CEILINGS

Comments: Inspected

4.5.GG WINDOWS

Comments: Inspected

4.6.GG PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected


4.7.GG PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

Nation Wide Inspections

4.8.GG OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.GG RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.GG FOOD WASTE DISPOSER

Comments: Inspected

4.11.GG RANGE HOOD

Comments: Inspected

4.12.GG GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(HH) . Building 4 Unit C - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.HH COUNTERS AND SINK

Comments: Inspected

4.1.HH CABINETRY

Comments: Inspected

Nation Wide Inspections

4.2.HH FLOORS

Comments: Inspected

4.3.HH WALLS

Comments: Inspected

4.4.HH CEILINGS

Comments: Inspected

4.5.HH WINDOWS

Comments: Inspected

4.6.HH PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.HH PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.HH OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.HH RANGES/OVENS/COOKTOPS

Comments: Inspected

Inoperative Oven. The oven did not function at the time of the inspection. **It is recommended that this be further inspected and corrected or repaired as needed by a qualified professional.**

4.10.HH FOOD WASTE DISPOSER

Comments: Inspected

4.11.HH RANGE HOOD

Comments: Inspected

4.12.HH GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(II) . Building 4 Unit D - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile


Exhaust/Range hood:

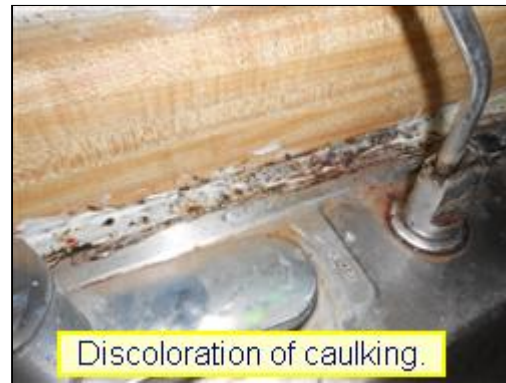
CHANGE FILTER

Items

4.0.II COUNTERS AND SINK

Comments: Repair or Replace

 **Discoloration of Caulking.** There was some discoloration of the grout at the counter/ sink connection. This discoloration occurs when water had penetrated the grout at this location. It is recommended that this area be cleaned with a bleach solution and that this area be re-caulked or grouted.



4.1.II CABINERY

Comments: Inspected

4.2.II FLOORS

Comments: Inspected

4.3.II WALLS

Comments: Inspected

4.4.II CEILINGS

Comments: Inspected

4.5.II WINDOWS

Comments: Inspected

4.6.II PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.II PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.II OUTLETS WALL SWITCHES and FIXTURES

Comments: Inspected

Nation Wide Inspections

4.9.II RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.II RANGE HOOD

Comments: Inspected

4.11.II GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(JJ) . Building 4 Unit E - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Linoleum

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.JJ COUNTERTOPS AND SINK

Comments: Inspected

4.1.JJ CABINETS

Comments: Repair or Replace

Nation Wide Inspections

 **Missing Cabinet Doors.** It was noted that a few kitchen cabinets were missing doors. This is noted for your information.



4.2.JJ FLOORS

Comments: Inspected

4.3.JJ WALLS

Comments: Inspected

4.4.JJ CEILINGS

Comments: Inspected

4.5.JJ WINDOWS

Comments: Inspected

4.6.JJ PLUMBING WATER SUPPLY FAUCETS AND FIXTURES


Comments: Inspected

4.7.JJ PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.JJ OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4.9.JJ RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.JJ FOOD WASTE DISPOSER

Comments: Inspected

4.11.JJ RANGE HOOD

Comments: Inspected

4.12.JJ GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(KK) . Building 4 Unit F - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.KK COUNTERS AND SINK

Comments: Inspected

4.1.KK CABINETRY

Comments: Inspected

4.2.KK FLOORS

Comments: Inspected

4.3.KK WALLS

Comments: Inspected

4.4.KK CEILINGS

Comments: Inspected

4.5.KK WINDOWS

Comments: Inspected

4.6.KK PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.KK PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.KK OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.9.KK RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.KK RANGE HOOD

Comments: Inspected

4.11.KK GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully be inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(LL) . Building 4 Unit G - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Items

4.0.LL COUNTERS AND SINK

Comments: Not Inspected

4.1.LL CABINetry

Comments: Not Inspected

4.2.LL FLOORS

Comments: Not Inspected

4.3.LL WALLS

Comments: Not Inspected

4.4.LL CEILINGS

Comments: Not Inspected

4.5.LL WINDOWS

Comments: Not Inspected

4.6.LL PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Not Inspected

Nation Wide Inspections

4.7.LL PLUMBING DRAIN AND VENT SYSTEMS

Comments: Not Inspected

4.8.LL OUTLETS WALL SWITCHES and FIXTURES

Comments: Not Inspected

4.9.LL RANGES/OVENS/COOKTOPS

Comments: Not Inspected

4.10.LL FOOD WASTE DISPOSER

Comments: Not Inspected

4.11.LL RANGE HOOD

Comments: Not Inspected

4.12.LL GENERAL NOTE:

Comments: Not Inspected

NOT INSPECTED DUE TO DOORS BEING LOCKED.

4.13.LL Other

Comments: Not Inspected

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(MM) . Building 4 Unit H - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Wood Like Material

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.MM COUNTERS AND SINK

Comments: Repair or Replace

Nation Wide Inspections



Caulking Needed. There are some areas that need some Caulk / grout at the counter backsplash. Gaps or missing grout, around this area can lead to water intrusion and moisture issues. It is recommended that the sink be properly caulked at these locations.



4.1.MM CABINETRY

Comments: Inspected

4.2.MM FLOORS

Comments: Inspected

4.3.MM WALLS

Comments: Inspected

4.4.MM CEILINGS

Comments: Inspected

4.5.MM WINDOWS

Comments: Inspected

4.6.MM PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

4.7.MM PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.MM OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace



(1) No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

(2) Missing Outlet Cover. There was an outlet under the sink that does not have a faceplate. Missing faceplates expose electrical parts of receptacle outlets, and switches creating a potential shock hazard. For safety reasons all outlets and switches should have secure covers to reduce the chance of electric shock.



Nation Wide Inspections

4.9.MM RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.MM RANGE HOOD

Comments: Inspected

4.11.MM GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4(NN) . Building 4 Unit I - Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

Countertop:

Laminate

Cabinetry:

Wood

Flooring:

Tile

Exhaust/Range hood:

CHANGE FILTER

Items

4.0.NN COUNTERS AND SINK

Comments: Inspected

4.1.NN CABINETRY

Comments: Inspected

4.2.NN FLOORS

Comments: Inspected

4.3.NN WALLS

Comments: Inspected

4.4.NN CEILINGS

Comments: Inspected

4.5.NN WINDOWS

Comments: Inspected

4.6.NN PLUMBING WATER SUPPLY FAUCETS AND FIXTURES

Comments: Inspected

Nation Wide Inspections

4.7.NN PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

4.8.NN OUTLETS WALL SWITCHES and FIXTURES

Comments: Repair or Replace

📌 (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

(2) **Inoperative Outlet.** The outlet at the kitchen counter did not work at time of inspection. There was no power at this outlet. **It is recommended that this be further evaluated by a licensed electrician and repaired as needed.**



4.9.NN RANGES/OVENS/COOKTOPS

Comments: Inspected

4.10.NN FOOD WASTE DISPOSER

Comments: Inspected

4.11.NN RANGE HOOD

Comments: Inspected

4.12.NN GENERAL NOTE:

Comments: Inspected

NOTE: Because the unit was occupied at the time of inspection there were many areas that could not be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, cabinets, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(A) . Building 1 Unit A - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Linoleum

Interior Doors:

Hollow core

Window Types:

Single pane

Sliders

Window Manufacturer:

UNKNOWN

Items

5.0.A CEILINGS

Comments: Inspected

5.1.A WALLS

Comments: Repair or Replace

📍 (1) **NOTE:** Because the unit was occupied at the time of inspection there are many areas that cannot be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

📍 (2) **Wall Damage.** There was some minor damage to the drywall noted in the bedroom. It is recommended that this area be patched at your convenience.



📍 (3) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

📍 (4) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

Nation Wide Inspections

5.2.A FLOORS

Comments: Repair or Replace

📍 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

📍 (2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.A DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.A WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📍 (1) **Water Damage at Sill.** There was some water damage noted on the window sill in the bedrooms. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain . **It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.**



📍 (2) **Mildew at Window Frames.** There was mildew at the frames of the bedroom windows. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frames. **It is recommended that these areas be cleaned with a bleach/water solution.**



 (3) **Inoperative Window Locks.**

The window locks for the windows in the bedrooms did not function. For safety purposes it is recommended that the windows be supplied with some sort of locking device.



5.5.A OUTLETS SWITCHES AND FIXTURES

Comments: Inspected

FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(B) . Building 1 Unit B - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Sliders

Window Manufacturer:

UNKNOWN

Items

5.0.B CEILINGS

Comments: Inspected

5.1.B WALLS

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **NOTE:** Because the unit was occupied at the time of inspection there are many areas that cannot be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .

(2) **Growth on walls.** There were walls in the bedroom where growth was noted. It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.



(3) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(4) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.B FLOORS

Comments: Repair or Replace

🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

🏠 (2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.

5.3.B DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.B WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

Nation Wide Inspections

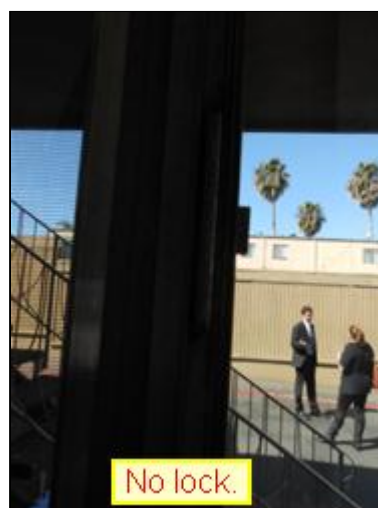
🏠 (1) Mildew at Window Frame.

There was mildew at the frame of the kitchen window. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frame and there is no growth or damage at the sills. It is recommended that these areas be cleaned with a bleach/water solution.



🏠 (2) Inoperative Window Locks.

The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.



5.5.B OUTLETS SWITCHES AND FIXTURES

Comments: Inspected

FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.B OTHER

Comments: Not Present, Repair or Replace

🏠 **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

Nation Wide Inspections

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(C) . Building 1 Unit C - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Sliders

Window Manufacturer:

UNKNOWN


Items


5.0.C CEILINGS

Comments: Inspected

5.1.C WALLS


Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.C FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.C DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.C WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.




5.5.C OUTLETS SWITCHES AND FIXTURES

Comments: Inspected

FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.C OTHER

Comments: Not Present, Repair or Replace

 **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(D) . Building 1 Unit D - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet
Tile

Interior Doors:

Hollow core

Window Types:

Single pane

5.0.D CEILINGS

Comments: Inspected

5.1.D WALLS

Comments: Repair or Replace

📍 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

📍 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.D FLOORS

Comments: Repair or Replace

📍 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

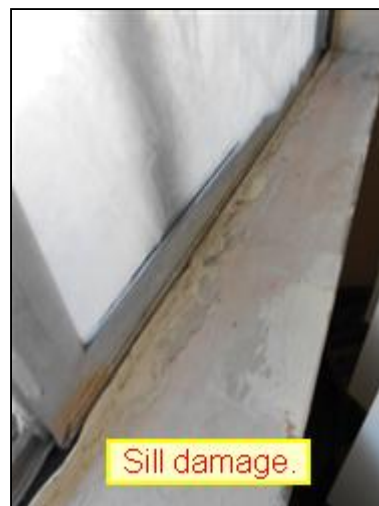
5.3.D DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.D WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📍 (1) **Water Damage at Sill.** There was some water damage noted on the window sill in the living room window. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain . **It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.**



Nation Wide Inspections

(2) **Inoperative Window Locks.** The window locks for the windows in the bedrooms did not function. For safety purposes it is recommended that the windows be supplied with some sort of locking device.

5.5.D OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

🏠 (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

🏠 (2) **Missing cover/Improper wiring.** It was noted that a light switch did not have a cover and was improperly wired. It is recommended that this switch be properly wired by a licensed electrician.



5.6.D OTHER

Comments: Repair or Replace

🏠 **NOTE:** The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Smoke detectors. Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

Nation Wide Inspections

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(E) . Building 1 Unit E - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items


5.0.E CEILINGS

Comments: Inspected

5.1.E WALLS


Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.E FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.E DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.E WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace



Inoperative Window Locks. The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

5.5.E OUTLETS SWITCHES AND FIXTURES

Comments: Inspected

FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(F) . Building 1 Unit F - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

5.0.F CEILINGS

Comments: Inspected

5.1.F WALLS

Comments: Repair or Replace



(1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.



(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.F FLOORS

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.F DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.F WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

(2) **Water Damage at Sill.** There was some water damage noted on the window sills in the unit. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain . **It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.**



5.5.F OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

🏠 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.F OTHER

Comments: Not Present, Repair or Replace

🏠 **NOTE:** The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric

Nation Wide Inspections

smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Smoke detectors. Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(G) . Building 1 Unit G - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items


5.0.G CEILINGS

Comments: Inspected

5.1.G WALLS

Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.G FLOORS

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

🏠 (2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.G DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.G WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

(2) **Water Damage at Sills.** There was some water damage noted on the window sills in the unit. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain . **It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.**



(3) **Cracked/ Damaged Window.** The window in the bedroom was cracked. **It is recommended for safety purposes that this be repaired or replaced by a licensed contractor or window professional.**



5.5.G OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.G OTHER

Comments: Not Present, Repair or Replace



NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Smoke detectors. Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(H) . Building 1 Unit H - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items


5.0.H CEILINGS


Comments: Inspected

5.1.H WALLS

Comments: Repair or Replace


Nation Wide Inspections

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.H FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.H DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected


5.4.H WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.H OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.H OTHER

Comments: Not Present, Repair or Replace

 **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

Nation Wide Inspections

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(I) . Building 1 Unit I - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items

5.0.I CEILINGS

Comments: Inspected

5.1.I WALLS

Comments: Repair or Replace


 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.



(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.I FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

Nation Wide Inspections


(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.I DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected


5.4.I WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.I OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace


 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.I GENERAL NOTE:

Comments: Inspected

5.7.I OTHER

Comments: Repair or Replace

 **No Smoke detectors.** **Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(J) . Building 1 Unit J - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items

5.0.J CEILINGS

Comments: Inspected

5.1.J WALLS


Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.J FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.J DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.J WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

(1) **Cracked/ Damaged Window.**


The window in the living room was cracked. It is recommended for safety purposes that this be repaired or replaced by a licensed contractor or window professional.



(2) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.J OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.J OTHER

Comments: Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

Nation Wide Inspections

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(K) . Building 1 Unit K - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items

5.0.K CEILINGS

Comments: Inspected

5.1.K WALLS


Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.K FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.K DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.K WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) Inoperative Window Locks.

The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.



(2) **Cracked/ Damaged Window.** The window in the living room was cracked. It is recommended for safety purposes that this be repaired or replaced by a licensed contractor or window professional.



5.5.K OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

🏠 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.K OTHER

Comments: Repair or Replace

🏠 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(L) . Building 1 Unit L - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

5.0.L CEILINGS

Comments: Inspected

5.1.L WALLS

Comments: Inspected

(1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.L FLOORS

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.L DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.L WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**



5.5.L OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

🏠 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.L OTHER

Comments: Repair or Replace

🏠 **No Smoke detectors.** **Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(M) . Building 1 Unit M - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items

5.0.M CEILINGS

Comments: Inspected

5.1.M WALLS

Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.M FLOORS

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.M DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.M WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.M OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

🏠 (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

(2) **Missing Outlet Cover.** There was a missing cover in the living room. Missing faceplates expose electrical parts of receptacle outlets, and switches creating a potential shock hazard. **For safety reasons all outlets and switches should have secure covers to reduce the chance of electric shock.**



5.6.M OTHER

Comments: Repair or Replace

🏠 **No Smoke detectors.** **Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each

separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(N) . Building 1 Unit N - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

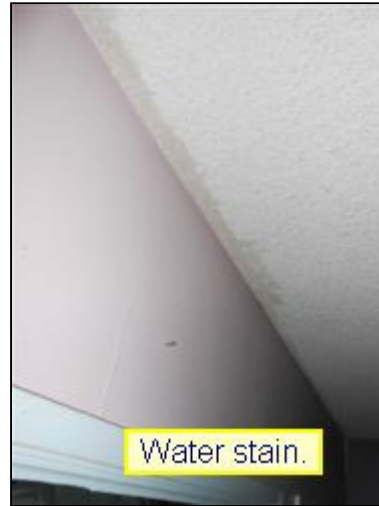
5.0.N CEILINGS

Comments: Repair or Replace

Nation Wide Inspections



Ceiling Water Stain. There was some water staining noted on the ceilings of the hall. It appears that there have been a roof leaks at these locations at one time. **It could not be determined if these leaks have been properly repaired.** There did not appear to be any signs indicating that there is an active leak. It is recommended that you ask the current owner about these stains and that a roofing contractor be hired to further evaluate these areas if needed.



5.1.N WALLS

Comments: Repair or Replace



(1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.N FLOORS

Comments: Repair or Replace



(1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.

5.3.N DOORS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **Broken Glass in Door.** The glass in the door in the living room was broken. Due to the safety hazard of this, it is recommended that the door or the glass be replaced by a licensed contractor or qualified professional.



(2) **Doors Binds.** The door located in the bedroom does not properly close and hinge on the door frame. The doors shut, but are in constant pressure due to proximity of the door to the frame. It is recommended that the door be adjusted by a licensed contractor to allow the door to freely close.

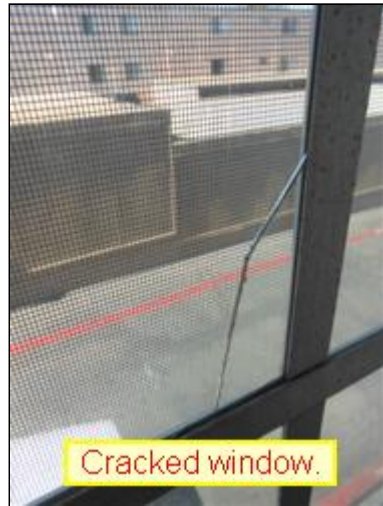


5.4.N WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

(2) **Cracked/ Damaged Windows.** The windows in the dining room, living room and bedroom were cracked. It is recommended for safety purposes that this be repaired or replaced by a licensed contractor or window professional.



5.5.N OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

📍 (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

(2) **Inoperable Outlet.** There was an outlet in bedroom that did not work at time of inspection. **There was no power at this outlet.** It is recommended that this be further evaluated by a licensed electrician.



Nation Wide Inspections

(3) **Loose Outlet.** There was a loose at the wall connection in the hall.


Loose outlets can pull the wires from the back of the receptacle causing the wires to arch or cause electric shock.

For safety reasons it is recommended that these outlets be properly secured.



5.6.N OTHER

Comments: Repair or Replace

 **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(O) . Building 2 Unit L - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

5.0.O CEILINGS

Comments: Inspected

5.1.O WALLS

Comments: Repair or Replace

Nation Wide Inspections

📍 (1) **Wall Damage.** There was some minor damage to the drywall noted in the unit. It is recommended that this area be patched at your convenience.



(2) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(3) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.O FLOORS

Comments: Repair or Replace

📍 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit. It could not be determined if these areas of discoloration or stains can be removed. It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.

5.3.O DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.O WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📍 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


Nation Wide Inspections

(2) **Water Damage at Sill.** There was some water damage noted on the window sill in the family room in the living room window. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain . It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.




5.5.O OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.O OTHER

Comments: Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(P) . Building 2 Unit M - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core


Window Types:

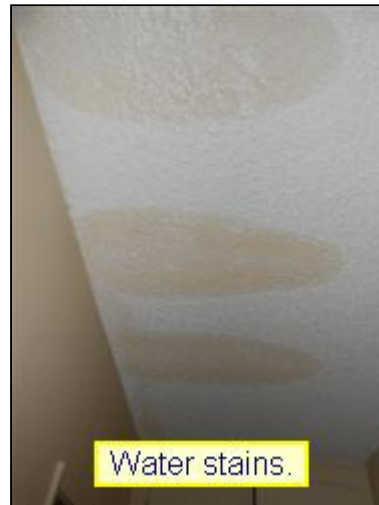
Single pane

Items

5.0.P CEILINGS


Comments: Repair or Replace

 **Ceiling Water Stain.** There was some water staining noted on the ceilings of the hall. It appears that there have been a leak at this locations at one time. **It could not be determined if the leak has been properly repaired.** There did not appear to be any signs indicating that there is an active leak. **It is recommended that you ask the current owner about these stains and that a roofing contractor be hired to further evaluate these areas if needed.**



5.1.P WALLS

Comments: Repair or Replace

 (1) **NOTE:** There were some areas of patchwork noted at some of the walls. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.




Nation Wide Inspections

(2) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(3) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.P FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.P DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected


5.4.P WINDOWS (REPRESENTATIVE NUMBER)


Comments: Repair or Replace

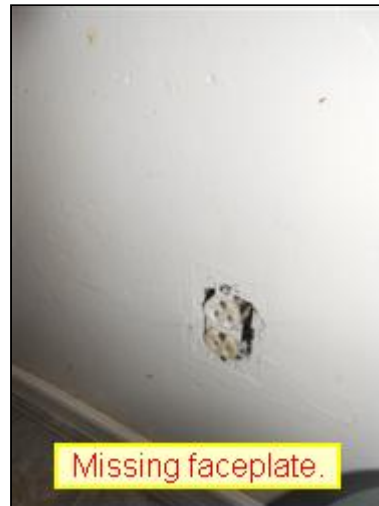
 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.P OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace


 (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

 (2) **Missing Outlet Cover.** There was a missing cover in the dining room. Missing faceplates expose electrical parts of receptacle outlets, and switches creating a potential shock hazard. **For safety reasons all outlets and switches should have secure covers to reduce the chance of electric shock.**



5.6.P OTHER

Comments: Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(Q) . Building 2 Unit N - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

Nation Wide Inspections

5.0.Q CEILINGS

Comments: Inspected

5.1.Q WALLS

Comments: Repair or Replace

📍 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

📍 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.Q FLOORS

Comments: Repair or Replace

📍 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.Q DOORS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📍 **Inoperative Lock at Slider.** The lock on the slider located in the dining room did not properly function and did not lock. It appears the at the alignment of the hardware is a bit off and does not allow the latching mechanism to connect. **It is recommended that this hardware is adjusted or replaced to allow the lock to properly engage and lock.**



5.4.Q WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📍 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

Nation Wide Inspections

(2) **Water Damage at Sill.** There was some water damage noted on the window sill in the living room window. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain . It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.



5.5.Q OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(R) . Building 2 Unit O - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

5.0.R CEILINGS

Comments: Inspected

5.1.R WALLS

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.R FLOORS

Comments: Repair or Replace

🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.R DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.R WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

(2) **Mildew at Window Frame.** There was mildew at the window frames in the unit. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frames and there is no growth or damage at the sills. **It is recommended that these areas be cleaned with a bleach/water solution.**



5.5.R OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

🏠 (2) **Loose Light Switch.** There was a loose switch at the wall connection. Loose switches can pull the wires from the back of the receptacle causing the wires to arch or cause electric shock. **For safety reasons it is recommended that these outlets be properly secured.**



5.6.R OTHER

Comments: Repair or Replace

🏠 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(S) . Building 2 Unit P - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

5.0.S CEILINGS


Comments: Inspected

Ceiling Water Stain. There was some water staining noted on the ceilings of the unit. It appears that there have been a leak at these locations at one time. **It could not be determined if these leaks have been properly repaired.** There did not appear to be any signs indicating that there is an active leak. **It is recommended that you ask the current owner about these stains and that a roofing contractor be hired to further evaluate these areas if needed.**



5.1.S WALLS


Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.S FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

Nation Wide Inspections

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.S DOORS (REPRESENTATIVE NUMBER)

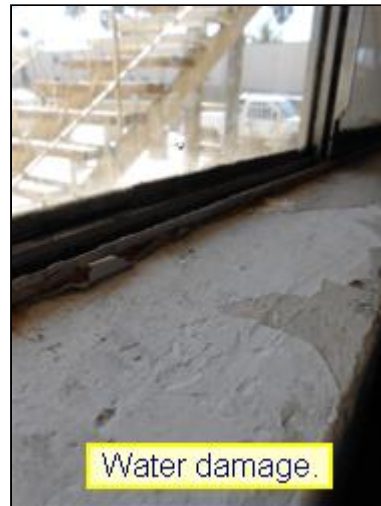
Comments: Inspected

5.4.S WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📌 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

(2) **Water Damage at Sill.** There was some water damage noted on the window sill in the living room window. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain . **It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.**



5.5.S OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

📌 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.S OTHER

Comments: Repair or Replace

📌 **No Smoke detectors.** **Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(T) . Building 2 Unit Q - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items

5.0.T CEILINGS

Comments: Inspected

5.1.T WALLS

Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.T FLOORS

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

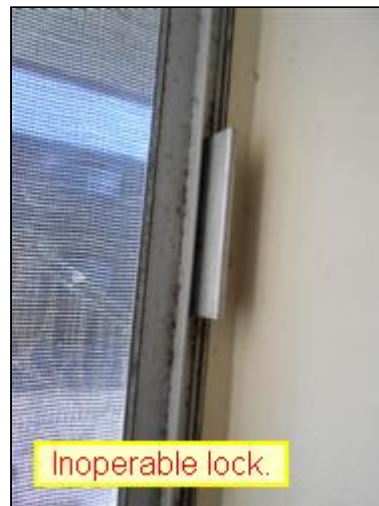
5.3.T DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.T WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**



5.5.T OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

🏠 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.T OTHER

Comments: Repair or Replace

🏠 **No Smoke detectors.** **Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(U) . Building 2 Unit R - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items

5.0.U CEILINGS

Comments: Inspected

5.1.U WALLS

Comments: Repair or Replace

 (1) **Growth on walls.** There were walls in the bedroom where growth was noted. It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.



Nation Wide Inspections

(2) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(3) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.U FLOORS

Comments: Repair or Replace

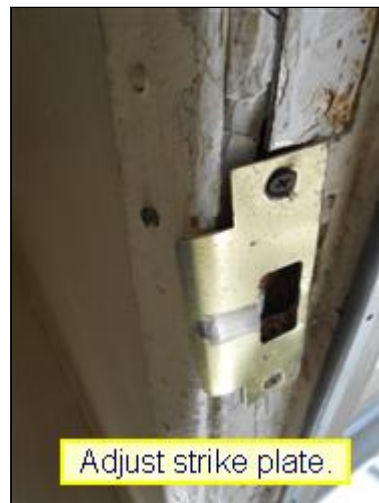
📍 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.U DOORS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📍 (1) **Adjust Strike Plate.** There front door did do not latch shut properly. The strike plate for the door is not adjusted properly and does not allow the door to latch shut. **It is recommend that the door be adjusted to allow the it to properly shut.**



Nation Wide Inspections

📍 (2) **Slider Sticks**. The slider in the dining room sticks making it difficult to operate. This is noted for your information and it is not known if corrections can be made to improve the sliding ability of these doors.



5.4.U WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📍 (1) **Inoperative Window Locks**. The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

(2) **Mildew at Window Frame**. There was mildew at several window frames in the unit. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frames and there is no growth or damage at the sills. It is recommended that these areas be cleaned with a bleach/water solution.




5.5.U OUTLETS SWITCHES AND FIXTURES

Comments: Inspected

FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.U OTHER

Comments: Repair or Replace

 **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(V) . Building 2 Unit S - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core


Window Types:

Single pane

Items

5.0.V CEILINGS


Comments: Repair or Replace

 **Ceiling Water Stain.** There was some water staining noted on the ceilings of the bedroom. It appears that there have been a leaks at these locations at one time. **It could not be determined if these leaks have been properly repaired.** There did not appear to be any signs indicating that there is an active leak. **It is recommended that you ask the current owner about these stains and that a roofing contractor be hired to further evaluate these areas if needed.**



5.1.V WALLS

Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

Nation Wide Inspections

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.V FLOORS

Comments: Repair or Replace

📍 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.

5.3.V DOORS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📍 (1) **Slider Sticks.** The slider in the dining room sticks making it difficult to operate. This is noted for your information and it is not known if corrections can be made to improve the sliding ability of these doors.




📍 (2) **Loose Glass at Slider.** It was noted that the glass on the sliding glass door in the dining room was pulled away from the frame. It is recommended that this be further evaluated by a licensed contractor and repaired where needed.



Nation Wide Inspections


5.4.V WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.V OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.V OTHER

Comments: Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(W) . Building 2 Unit T - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

5.0.W CEILINGS

Comments: Inspected

5.1.W WALLS

Comments: Repair or Replace

📍 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.W FLOORS

Comments: Repair or Replace

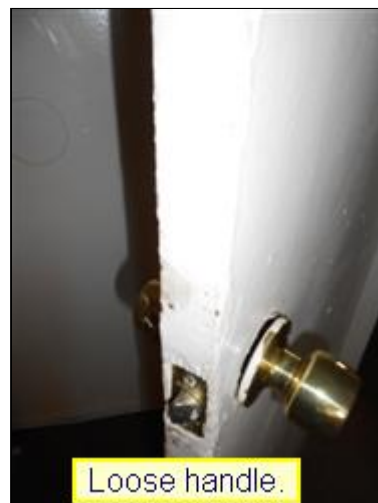
📍 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

📍 (2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit. It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.W DOORS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace


📍 **Loose Handle.** The handle for the bedroom door is loose and should be tightened to ensure proper working order. **It is recommended that this item is repaired or replaced as needed.**



Nation Wide Inspections


5.4.W WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

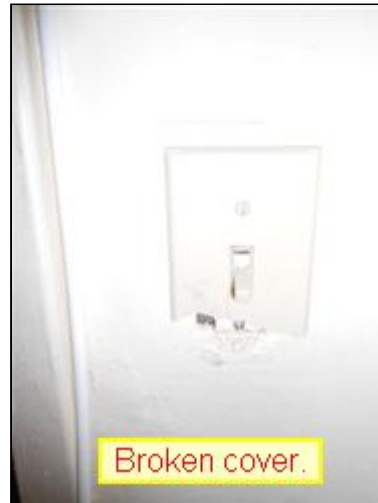
 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

5.5.W OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace


 (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

(2) **Damaged Cover.** There was a damaged light switch cover in the bedroom. Damaged faceplates expose electrical parts and creating a potential shock hazard. For safety reasons all outlets and switches should have secure covers to reduce the chance of electric shock.



5.6.W OTHER

Comments: Repair or Replace

 **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(X) . Building 2 Unit U - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items


5.0.X CEILINGS

Comments: Inspected

5.1.X WALLS


Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.X FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.X DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.X WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.X OUTLETS SWITCHES AND FIXTURES


Comments: Inspected

FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that

there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.X OTHER

Comments: Repair or Replace

 **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(Y) . Building 2 Unit V - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items

5.0.Y CEILINGS

Comments: Inspected

5.1.Y WALLS


Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.Y FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

Nation Wide Inspections


(2) **Carpet Discoloration**. There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.Y DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.Y WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 (1) **Inoperative Window Locks**. The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

(2) **Window Sticks**. The window in the dining room was rough to operate and did not properly function. **It is recommended that this window be further evaluated and adjusted or repaired as needed.**



(3) **Water Damage at Sill**. There was some water damage noted on the window sills in the living room. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain . **It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.**




Nation Wide Inspections

(4) **Cracked/ Damaged Window.** The window in the living room was cracked. It is recommended for safety purposes that this be repaired or replaced by a licensed contractor or window professional.




5.5.Y OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.Y OTHER

Comments: Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

Nation Wide Inspections

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(Z) . Building 2 Unit W - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane


Items

5.0.Z CEILINGS

Comments: Inspected

5.1.Z WALLS


Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.Z FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.Z DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected


5.4.Z WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.Z OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.Z OTHER

Comments: Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(AA) . Building 2 Unit X - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

Nation Wide Inspections

5.0.AA CEILINGS

Comments: Inspected

5.1.AA WALLS

Comments: Repair or Replace

📍 (1) **Wall Damage.** There was some minor damage to the drywall noted in the living room. It is recommended that this area be patched at your convenience.



(2) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(3) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.AA FLOORS

Comments: Repair or Replace

📍 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.

5.3.AA DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.AA WINDOWS (REPRESENTATIVE NUMBER)


Comments: Repair or Replace

📍 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

Nation Wide Inspections


5.5.AA OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.AA OTHER

Comments: Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(BB) . Building 2 Unit Y - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

5.0.BB CEILINGS

Comments: Inspected

5.1.BB WALLS

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

🏠 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.BB FLOORS

Comments: Repair or Replace

🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.BB DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.BB WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

(2) **Possible Water Damage at Window.** There was possible water damage noted on the window frame in the living room window. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain . **It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.**



5.5.BB OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.BB OTHER

Comments: Repair or Replace



No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(CC) . Building 2 Unit Z - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Items

5.0.CC CEILINGS

Comments: Inspected

5.1.CC WALLS

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **Wall Damage.** There was some minor damage to the drywall noted in the bedroom. It is recommended that this area be patched at your convenience.



(2) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(3) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.CC FLOORS

Comments: Repair or Replace

🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.

5.3.CC DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

Nation Wide Inspections

Missing Strike Plate. The door at bedroom was missing the metal strike plate. This device helps catch the striker, which allows the door to latch shut. **It is recommended that these be replaced as needed by a licensed contractor.**



5.4.CC WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📌 Inoperative Window Locks. The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.CC OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

📌 FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.CC OTHER

Comments: Repair or Replace

📌 No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(DD) . Building 3 Unit J - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

5.0.DD CEILINGS

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

5.1.DD WALLS

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

5.2.DD FLOORS

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

5.3.DD DOORS (REPRESENTATIVE NUMBER)

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

5.4.DD WINDOWS (REPRESENTATIVE NUMBER)

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

5.5.DD OUTLETS SWITCHES AND FIXTURES

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

5.6.DD STAIRWAY

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

5.7.DD GENERAL NOTE:

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

5.8.DD OTHER

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(EE) . Building 3 Unit K - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Window Manufacturer:

UNKNOWN

Items

5.0.EE CEILINGS

Comments: Inspected

5.1.EE WALLS

Comments: Repair or Replace

📍 (1) **Wall Damage.** There was some minor damage to the drywall noted in the bedroom. It is recommended that this area be patched at your convenience.



(2) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(3) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.EE FLOORS

Comments: Repair or Replace

📍 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

Nation Wide Inspections

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.EE DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.EE WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

(2) **Cracked/ Damaged Window.** The window in the bedroom was cracked. **It is recommended for safety purposes that this be repaired or replaced by a licensed contractor or window professional.**




5.5.EE OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

🏠 (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**


Nation Wide Inspections

 (2) **Loose Outlet.** There were loose outlets at the wall connections in the unit. Loose outlets can pull the wires from the back of the receptacle causing the wires to arch or cause electric shock. For safety reasons it is recommended that these outlets be properly secured.



5.6.EE OTHER

Comments: Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(FF) . Building 4 Unit A - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Window Manufacturer:

UNKNOWN

Items

Nation Wide Inspections

5.0.FF CEILINGS

Comments: Inspected

5.1.FF WALLS


Comments: Inspected

(1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.FF FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.FF DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected


5.4.FF WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.FF OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.FF OTHER

Comments: Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(GG) . Building 4 Unit B - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Window Manufacturer:

UNKNOWN


Items

5.0.GG CEILINGS

Comments: Inspected

5.1.GG WALLS

Comments: Repair or Replace


 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.GG FLOORS

Comments: Repair or Replace

Nation Wide Inspections

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.GG DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected


5.4.GG WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.GG OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.GG STAIRWAY

Comments: Inspected

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(HH) . Building 4 Unit C - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Window Manufacturer:

UNKNOWN

Items

Nation Wide Inspections


5.0.HH CEILINGS

Comments: Inspected

5.1.HH WALLS

Comments: Repair or Replace

(1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


 (2) **Growth at Walls.** The walls in the dining area had growth. It is recommended that this area be further evaluated and properly repaired by a licensed contractor specializing in mildew and mold.



(3) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.HH FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.

5.3.HH DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.HH WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📍 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

(2) **Mildew at Window Frames.** There was mildew at the frames of the bedroom windows. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. It is recommended that these areas be cleaned with a bleach/water solution.



5.5.HH OUTLETS SWITCHES AND FIXTURES

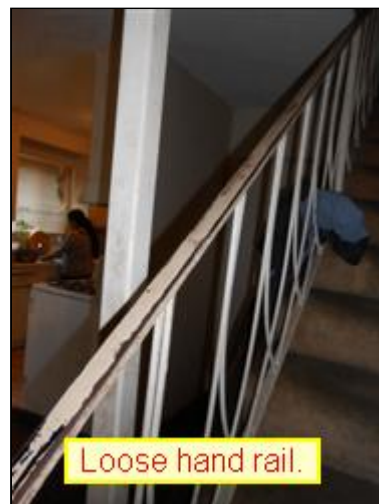
Comments: Repair or Replace

📍 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.HH STAIRWAY

Comments: Repair or Replace

📍 (1) **Loose Hand Rails.** Stairs are one of the most frequent location of injury accidents in the home. It is required that all stairs with 4 or more risers have a hand rail with a minimum height requirement of 34 inches. In this application the hand rail was loose or had missing hardware. For safety purposes it is recommended that this area have properly secured railings to ensure working order.



(2) **Wide Spacing.** The stringers at the railing are currently spaced greater than 4 inches. Although this may have been standard at the time this was built, is recommended for today's standards, that the spacing of these

balusters be no greater than 4 inches. This is a safety measure to help ensure that a child cannot slip through this area. **It is recommended that you add a screen or more balusters at this location.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(II) . Building 4 Unit D - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Window Manufacturer:

UNKNOWN


Items

5.0.II CEILINGS

Comments: Inspected

5.1.II WALLS


Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.II FLOORS

Comments: Repair or Replace


 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

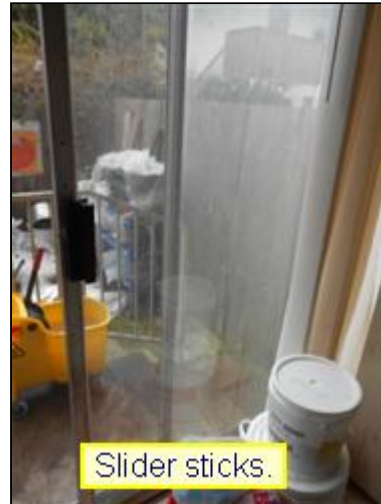
(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.II DOORS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace


Nation Wide Inspections

 **Slider Sticks.** The slider in the dining room sticks making it difficult to operate. This is noted for your information and it is not known if corrections can be made to improve the sliding ability of these doors.



5.4.II WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace


 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


(2) **Water Damage at Sills.** There was some water damage noted on the window sills in the bedroom windows. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain. It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.



5.5.II OUTLETS SWITCHES AND FIXTURES


Comments: Repair or Replace

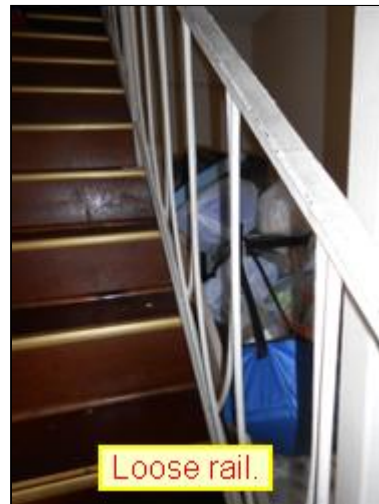
 (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

 (2) **Inoperative Outlets.** There were outlets in the unit that did not work at time of inspection. **There was no power at this outlet.** It is recommended that this be further evaluated by a licensed electrician.

5.6.II STAIRWAY

Comments: Repair or Replace

 (1) **Loose Hand Rails.** Stairs are one of the most frequent location of injury accidents in the home. It is required that all stairs with 4 or more risers have a hand rail with a minimum height requirement of 34 inches. In this application the hand rail was loose or had missing hardware. For safety purposes it is recommended that this area have properly secured railings to ensure working order.



(2) **Wide Spacing.** The balusters at the stairs are currently spaced greater than 4 inches. Although this may have been standard at the time this was built, it is recommended for today's standards, that the spacing of these balusters be no greater than 4 inches. This is a safety measure to help ensure that a child cannot slip through this area. It is recommended that you add a screen or more balusters at this location.

5.7.II OTHER

Comments: Inspected

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(JJ) . Building 4 Unit E - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Window Manufacturer:

UNKNOWN

Items

5.0.JJ CEILINGS

Comments: Inspected

Nation Wide Inspections

5.1.JJ WALLS

Comments: Repair or Replace

📍 (1) **NOTE:** There were some areas of patchwork noted at some of the walls. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.

(2) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(3) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.JJ FLOORS

Comments: Repair or Replace

📍 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.JJ DOORS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

📍 **Door Damage.** There was some minor damage to the door of the living room . This currently does not affect the function of the door. **This is noted for your information and can be repaired at your convenience.**



5.4.JJ WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

(2) **Water Damage at Sill.** There was some water damage noted on the window sill in the living room and bedroom windows. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain. It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.



5.5.JJ OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

🏠 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.JJ STAIRWAY

Comments: Repair or Replace


🏠 (1) **Loose Hand Rails.** Stairs are one of the most frequent location of injury accidents in the home. It is required that all stairs with 4 or more risers have a hand rail with a minimum height requirement of 34 inches. In this application the hand rail was loose or had missing hardware. For safety purposes it is recommended that this area have properly secured railings to ensure working order.

(2) **Wide Spacing.** The balusters at the stairs are currently spaced greater than 4 inches. Although this may have been standard at the time this was built, it is recommended for today's standards, that the spacing of these balusters be no greater than 4 inches. This is a safety measure to help ensure that a child cannot slip through this area. It is recommended that you add a screen or more balusters at this location.

Nation Wide Inspections

5.7.JJ OTHER

Comments: Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(KK) . Building 4 Unit F - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Window Manufacturer:

UNKNOWN

Items

5.0.KK CEILINGS

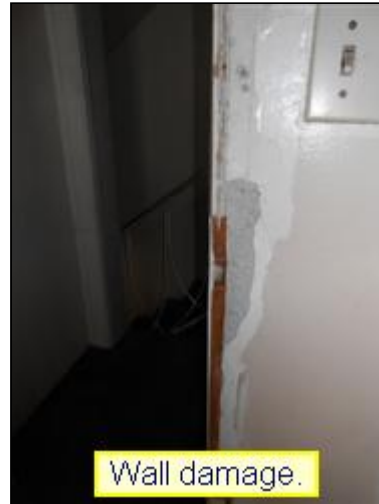
Comments: Inspected

5.1.KK WALLS

Comments: Repair or Replace

Nation Wide Inspections

🏠 (1) **Wall Damage.** There was some minor damage to the drywall noted in the living room. It is recommended that this area be patched at your convenience.



(2) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

(3) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.KK FLOORS

Comments: Repair or Replace

🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.

5.3.KK DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected


5.4.KK WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.KK OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.KK STAIRWAY


Comments: Repair or Replace

 (1) **Loose Hand Rails.** Stairs are one of the most frequent location of injury accidents in the home. It is required that all stairs with 4 or more risers have a hand rail with a minimum height requirement of 34 inches. In this application the hand rail was loose or had missing hardware. **For safety purposes it is recommended that this area have properly secured railings to ensure working order.**

(2) **Wide Spacing.** The balusters at the stairs are currently spaced greater than 4 inches. Although this may have been standard at the time this was built, it is recommended for today's standards, that the spacing of these balusters be no greater than 4 inches. This is a safety measure to help ensure that a child cannot slip through this area. **It is recommended that you add a screen or more balusters at this location.**

5.7.KK OTHER

Comments: Repair or Replace

 **No Smoke detectors.** **Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(LL) . Building 4 Unit G - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Window Manufacturer:

UNKNOWN

Items

5.0.LL CEILINGS

Comments: Not Inspected

5.1.LL WALLS

Comments: Not Inspected

5.2.LL FLOORS

Comments: Not Inspected

5.3.LL DOORS (REPRESENTATIVE NUMBER)

Comments: Not Inspected

5.4.LL WINDOWS (REPRESENTATIVE NUMBER)

Comments: Not Inspected

5.5.LL OUTLETS SWITCHES AND FIXTURES

Comments: Not Inspected

5.6.LL STAIRWAY

Comments: Not Inspected

5.7.LL GENERAL NOTE:

Comments: Not Inspected

NOT INSPECTED. THIS UNIT COULD NOT BE INSPECTED DUE TO NO ACCESS.

5.8.LL OTHER

Comments: Not Inspected

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(MM) . Building 4 Unit H - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Nation Wide Inspections

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Window Manufacturer:

UNKNOWN

Items


5.0.MM CEILINGS

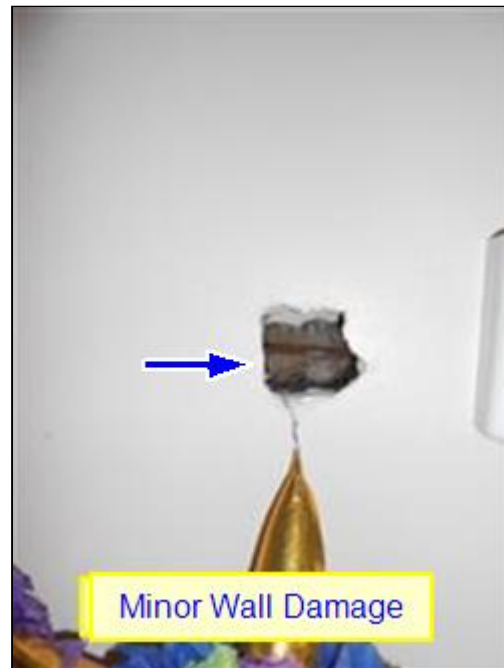
Comments: Inspected

5.1.MM WALLS

Comments: Repair or Replace

(1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


 (2) **Wall Damage.** There was some minor damage to the drywall noted in the living room. It is recommended that this area be patched at your convenience.



(3) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.MM FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

Nation Wide Inspections

(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.MM DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

5.4.MM WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

Inoperative Window Locks. The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.MM OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.MM STAIRWAY

Comments: Repair or Replace

(1) Loose Hand Rails. Stairs are one of the most frequent location of injury accidents in the home. It is required that all stairs with 4 or more risers have a hand rail with a minimum height requirement of 34 inches. In this application the hand rail was loose or had missing hardware. **For safety purposes it is recommended that this area have properly secured railings to ensure working order.**




(2) **Wide Spacing.** The balusters at the stairs are currently spaced greater than 4 inches. Although this may have been standard at the time this was built, it is recommended for today's standards, that the spacing of

Nation Wide Inspections

these balusters be no greater than 4 inches. This is a safety measure to help ensure that a child cannot slip through this area. **It is recommended that you add a screen or more balusters at this location.**

5.7.MM OTHER

Comments: Repair or Replace

 **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5(NN) . Building 4 Unit I - Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Interior Doors:

Hollow core

Window Types:

Single pane

Window Manufacturer:

UNKNOWN


Items


5.0.NN CEILINGS

Comments: Inspected

5.1.NN WALLS


Comments: Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.NN FLOORS

Comments: Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

Nation Wide Inspections


(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.NN DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected


5.4.NN WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.NN OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.NN OTHER

Comments: Repair or Replace

 **No Smoke detectors.** **Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6(A) . Building 1 Unit A - Bathrooms and Components

Items


Nation Wide Inspections

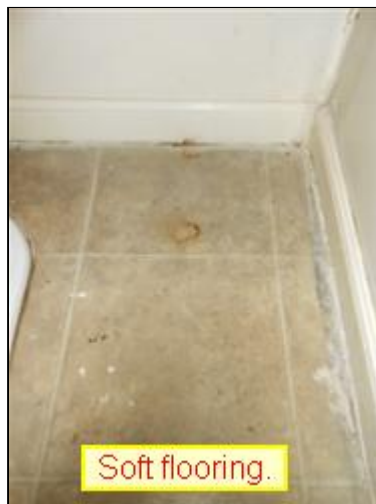
6.0.A DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.A FLOORS

Comments: Repair or Replace

 **Soft Area of Flooring.** The floor around the base of the tub was soft. It is possible that there is damage to the sub-floor at this location. **It is recommended that this be further evaluated and repaired if needed by a licensed contractor.**



6.2.A WALLS

Comments: Inspected

6.3.A CEILINGS

Comments: Inspected

(1) **Ceiling Water Stain.** There was some water staining noted on the ceiling of the hall bathroom. It appears that there has been a leak at this location at one time. **It could not be determined if the leak has been properly repaired.** There did not appear to be any signs indicating that there is an active leak. **It is recommended that you ask the current owner about these stain and that a contractor be hired to further evaluate these areas if needed.**




Nation Wide Inspections

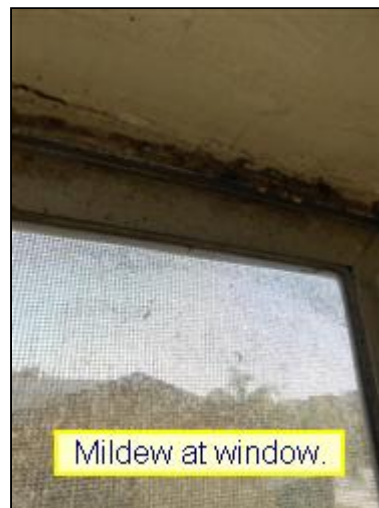
(2) **NOTE:** There were some areas of patchwork noted at the ceiling of this bathroom. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.



6.4.A WINDOWS/ MIRRORS

Comments: Repair or Replace

 **Mildew at Window Frame.** There was mildew at the frames of the bathroom window. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frames. **It is recommended that these areas be cleaned with a bleach/water solution.**



6.5.A PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.A PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected


6.7.A TOILET FIXTURE

Comments: Inspected

6.8.A OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

Nation Wide Inspections

 **Inoperative Outlet.** There was an outlet in storage room in the bathroom that did not work at time of inspection. **There was no power at this outlet.** It is recommended that this be further evaluated by a licensed electrician.




6.9.A EXHAUST FAN/ HEATER

Comments: Inspected

6.10.A COUNTER/SINKS


Comments: Repair or Replace

 **Water Damage to Vanity.** The vanity in the bathroom has water damage at the side. This cabinet is made of particle board which swells and warps when damaged. Once this material has had water damage it loses its strength, and warps. It is recommended that this vanity be replaced to limit the possibility of mold.



6.11.A SHOWER/TUB ENCLOSURE

Comments: Repair or Replace

 **Discoloration Noted.** There is some discoloration of the caulking on the side of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.



6(B) . Building 1 Unit B - Bathrooms and Components

Items

6.0.B DOORS (REPRESENTATIVE NUMBER)


Comments: Inspected

6.1.B FLOORS

Comments: Inspected

6.2.B WALLS

Comments: Repair or Replace

 **Growth on walls.** There were walls in the bathroom that where growth was noted. It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.



6.3.B CEILINGS

Comments: Repair or Replace

Nation Wide Inspections



Growth Noted at Ceiling. There was staining on the ceiling above the shower indicating signs of growth on the exterior surface. It appears that there has been a lot of moisture in this bathroom and growth has begun to grow on the surface of the walls and ceiling. It is recommended that these surfaces have the paint removed, be cleaned with bleach and water solution. Efforts should also be made to limit the amount of moisture in this area. This can be done by showering with window and/or door open.



6.4.B WINDOWS/ MIRRORS

Comments: Repair or Replace



Mildew at Window Frame. There was mildew at the frames of the bathroom window. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frames. It is recommended that these areas be cleaned with a bleach/water solution.



6.5.B PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.B PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.B TOILET FIXTURE

Comments: Inspected

6.8.B OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

Nation Wide Inspections

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathroom. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**




6.9.B COUNTER/SINKS

Comments: Inspected

6.10.B SHOWER/TUB ENCLOSURE

Comments: Repair or Replace

 **Discoloration Noted.** There is some discoloration of the caulking on the side of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**



6(C) . Building 1 Unit C - Bathrooms and Components

Items

6.0.C DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.C FLOORS

Comments: Inspected

6.2.C WALLS

Comments: Inspected

6.3.C CEILINGS

Comments: Repair or Replace

Nation Wide Inspections



Ceiling Water Stain. There was some water staining noted on the ceilings of the bathroom. It appears that there have been leaks at these locations at one time. **It could not be determined if these leaks have been properly repaired.** There did not appear to be any signs indicating that there is an active leak. **It is recommended that you ask the current owner about these stains and that a roofing contractor be hired to further evaluate these areas if needed.**



6.4.C WINDOWS/ MIRRORS

Comments: Inspected

6.5.C PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.C PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.C TOILET FIXTURE

Comments: Inspected

6.8.C OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**



6.9.C EXHAUST FAN/ HEATER

Comments: Inspected

6.10.C COUNTER/SINKS

Comments: Inspected

6.11.C SHOWER/TUB ENCLOSURE

Comments: Inspected

6(D) . Building 1 Unit D - Bathrooms and Components

Styles & Materials

Exhaust Fans:

None


Items

6.0.D DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.D FLOORS

Comments: Repair or Replace

 **Loose Tiles.** There were loose tiles noted at the floor of the bathroom. The cause of this was not able to be determined. **This is noted for your information and can be repaired at your convenience.**




6.2.D WALLS

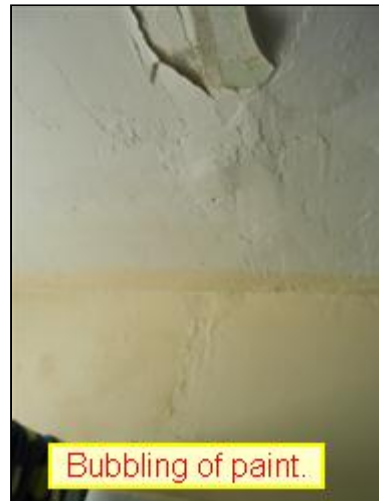
Comments: Inspected

NOTE: There was some patching noted to the walls of this bathroom. This is noted for your information.

6.3.D CEILINGS

Comments: Repair or Replace

 **Bubbling of Paint at Ceiling.** There was a location in the bathroom where there was a raised "bubble type formation" at the ceiling. These often occur when leaks are present and water has pooled under the paint layer causing these formations. **It is possible that there was a leaks at this location. It could not be determined at the time of inspection, if there were active leaks at this location . It is recommended that a licensed contractor be called out for further analysis ad repair as needed.**



Nation Wide Inspections

6.4.D WINDOWS/ MIRRORS

Comments: Inspected

6.5.D PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.D PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.D TOILET FIXTURE

Comments: Inspected

6.8.D OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.D COUNTER/SINKS

Comments: Inspected

6.10.D SHOWER/TUB ENCLOSURE

Comments: Inspected

6(E) . Building 1 Unit E - Bathrooms and Components

Items

6.0.E DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.E FLOORS

Comments: Inspected


6.2.E WALLS

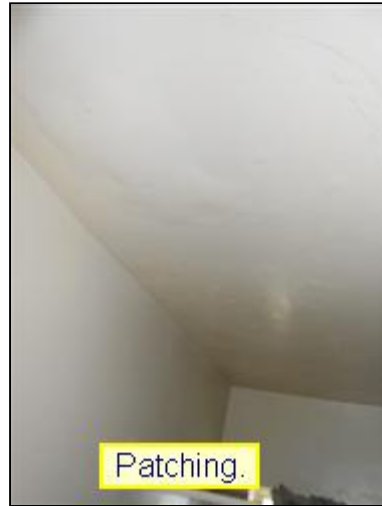
Comments: Inspected

6.3.E CEILINGS

Comments: Repair or Replace

Nation Wide Inspections

 **NOTE:** There were some areas of patchwork noted at the ceiling of this bathroom. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.



6.4.E WINDOWS/ MIRRORS

Comments: Inspected

6.5.E PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.E PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.E TOILET FIXTURE

Comments: Inspected

6.8.E OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace


 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

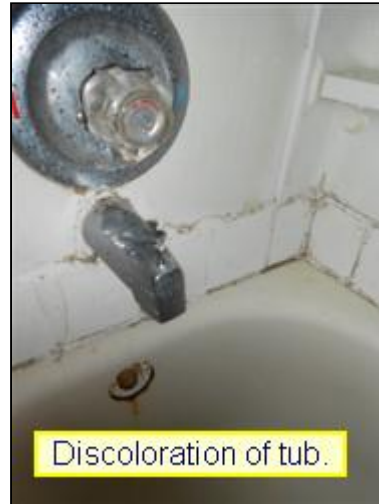
6.9.E COUNTER/SINKS

Comments: Inspected

6.10.E SHOWER/TUB ENCLOSURE

Comments: Repair or Replace

 **Discoloration Noted.** There was some discoloration of the caulking on the inside of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.




6(F) . Building 1 Unit F - Bathrooms and Components

Items

6.0.F DOORS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

 **Door Rubs- Difficult to Open.** The door to the hall bathroom rubs on the floor when opening/closing. This makes it difficult to properly open and close this door. It is recommended that adjustments be made to allow this door to properly function.



6.1.F FLOORS


Comments: Inspected

6.2.F WALLS

Comments: Inspected

6.3.F CEILINGS

Comments: Repair or Replace

 **NOTE:** There were some areas of patchwork noted at the ceiling of this bathroom. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.



6.4.F WINDOWS/ MIRRORS

Comments: Inspected

6.5.F PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.F PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.F TOILET FIXTURE

Comments: Inspected

6.8.F OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

(2) **Inoperative Outlet.** There was an outlet in the bathroom that did not work at time of inspection. **There was no power at this outlet.** **It is recommended that this be further evaluated by a licensed electrician.**



Nation Wide Inspections

6.9.F COUNTER/SINKS

Comments: Inspected

6.10.F SHOWER/TUB ENCLOSURE

Comments: Inspected

6(G) . Building 1 Unit G - Bathrooms and Components

Items

6.0.G DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.G FLOORS

Comments: Inspected

6.2.G WALLS


Comments: Inspected

6.3.G CEILINGS

Comments: Inspected

6.4.G WINDOWS/ MIRRORS

Comments: Repair or Replace

 **Cracked Window Pane.** The window pane in this bathroom was cracked. It is recommended for safety purposes that this window be replaced by a licensed contractor.



6.5.G PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.G PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.G TOILET FIXTURE

Comments: Inspected

6.8.G OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. It is recommended all bathroom outlets be GFCI protected or on a GFCI protected

circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.G COUNTER/SINKS

Comments: Inspected

6.10.G SHOWER/TUB ENCLOSURE

Comments: Inspected

6(H) . Building 1 Unit H - Bathrooms and Components

Items

6.0.H DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.H FLOORS

Comments: Inspected

6.2.H WALLS

Comments: Inspected

6.3.H CEILINGS

Comments: Inspected

6.4.H WINDOWS/ MIRRORS

Comments: Inspected

6.5.H PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.H PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.H TOILET FIXTURE

Comments: Inspected

6.8.H OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.H COUNTER/SINKS

Comments: Inspected

6.10.H SHOWER/TUB ENCLOSURE

Comments: Inspected

6(I) . Building 1 Unit I - Bathrooms and Components

Items

6.0.I DOORS (REPRESENTATIVE NUMBER)


Comments: Inspected

6.1.I FLOORS

Comments: Inspected

6.2.I WALLS

Comments: Repair or Replace

 **NOTE:** There was some patching noted to the walls of this bathroom. This is noted for your information.



6.3.I CEILINGS

Comments: Inspected

6.4.I WINDOWS/ MIRRORS

Comments: Inspected

6.5.I PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.I PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.I TOILET FIXTURE

Comments: Inspected

6.8.I OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

(2) **Improper cover.** It was noted that the light switch in the bathroom had an improper cover. **It is recommended that the proper cover be installed by a licensed contractor.**



6.9.I COUNTER/SINKS

Comments: Inspected

6.10.I SHOWER/TUB ENCLOSURE

Comments: Inspected

6(J) . Building 1 Unit J - Bathrooms and Components

Items

6.0.J DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.J FLOORS

Comments: Inspected

6.2.J WALLS

Comments: Inspected

6.3.J CEILINGS

Comments: Inspected

6.4.J WINDOWS/ MIRRORS

Comments: Inspected

6.5.J PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.J PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.J TOILET FIXTURE

Comments: Inspected

6.8.J OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected**

circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.J COUNTER/SINKS

Comments: Inspected

6.10.J SHOWER/TUB ENCLOSURE

Comments: Inspected

6(K) . Building 1 Unit K - Bathrooms and Components

Items

6.0.K DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.K FLOORS

Comments: Inspected

6.2.K WALLS

Comments: Inspected

6.3.K CEILINGS

Comments: Inspected

6.4.K WINDOWS/ MIRRORS

Comments: Inspected

6.5.K PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.K PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.K TOILET FIXTURE

Comments: Inspected

6.8.K OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.K COUNTER/SINKS

Comments: Inspected

6.10.K SHOWER/TUB ENCLOSURE

Comments: Repair or Replace



Discoloration Noted. There is some discoloration of the caulking on the inside of the tub. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**



6(L) . Building 1 Unit L - Bathrooms and Components

Items

6.0.L DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.L FLOORS

Comments: Inspected

6.2.L WALLS

Comments: Inspected

6.3.L CEILINGS

Comments: Inspected

6.4.L WINDOWS/ MIRRORS

Comments: Inspected

6.5.L PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.L PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.L TOILET FIXTURE

Comments: Inspected

6.8.L OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

Nation Wide Inspections

6.9.L COUNTER/SINKS

Comments: Inspected

6.10.L SHOWER/TUB ENCLOSURE

Comments: Inspected

6(M) . Building 1 Unit M - Bathrooms and Components

Items

6.0.M DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.M FLOORS

Comments: Inspected

6.2.M WALLS

Comments: Inspected

6.3.M CEILINGS

Comments: Inspected

6.4.M WINDOWS/ MIRRORS

Comments: Inspected

6.5.M PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.M PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.M TOILET FIXTURE

Comments: Inspected

6.8.M OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace




No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.M COUNTER/SINKS

Comments: Inspected

6.10.M SHOWER/TUB ENCLOSURE

Comments: Repair or Replace

 **Discoloration Noted.** There is some discoloration of the caulking on the inside of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**



6(N) . Building 1 Unit N - Bathrooms and Components

Items

6.0.N DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.N FLOORS

Comments: Inspected

6.2.N WALLS

Comments: Inspected

6.3.N CEILINGS

Comments: Inspected

6.4.N WINDOWS/ MIRRORS

Comments: Inspected

6.5.N PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.N PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.N TOILET FIXTURE

Comments: Inspected

6.8.N OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

Nation Wide Inspections

6.9.N COUNTER/SINKS

Comments: Inspected

6.10.N SHOWER/TUB ENCLOSURE


Comments: Inspected

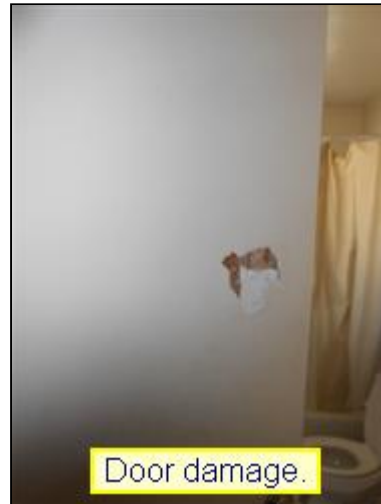
6(O) . Building 2 Unit L - Bathrooms and Components

Items

6.0.O DOORS (REPRESENTATIVE NUMBER)


Comments: Repair or Replace

 **Door Damage.** There was some minor damage to the door noted at the bathroom. It is recommended that this area be patched at your convenience.

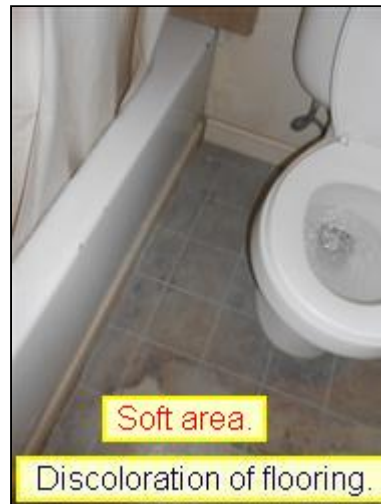


6.1.O FLOORS

Comments: Repair or Replace

 **Discoloration of Linoleum .** There was some discoloration of the linoleum in this bathroom. This is noted for your information and can be repaired at your convenience.


Soft Area of Flooring. The floor around the base of the toilet was soft. It is possible that there is damage to the sub-floor at this location. It is recommended that this be further evaluated and repaired if needed by a licensed contractor.



6.2.O WALLS

Comments: Repair or Replace

Nation Wide Inspections

 **Wall Damage.** There was some minor damage to the drywall noted in the bathroom. It is recommended that this area be patched at your convenience.



6.3.O CEILINGS

Comments: Inspected

6.4.O WINDOWS/ MIRRORS

Comments: Inspected

6.5.O Shower/ Tub enclosure.

Comments: Inspected

6.6.O PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.7.O PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.8.O TOILET FIXTURE

Comments: Inspected

6.9.O OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace


 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend that GFCI protection be provided.

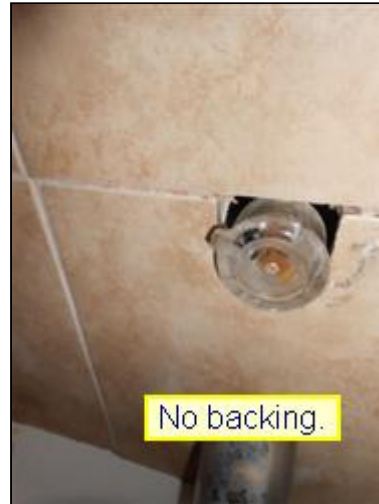
6.10.O COUNTER/SINKS

Comments: Inspected

6.11.O SHOWER/TUB ENCLOSURE

Comments: Repair or Replace

 **Missing backing at shower/bath handle.** It was noted that the shower/bath handle did not have backing to properly prevent water from entering the space behind the tub enclosure. Water penetration in to this area could result in water damage to the wall. It is recommended that a licensed contractor install a proper handle with proper backing.



6(P) . Building 2 Unit M - Bathrooms and Components

Items

6.0.P DOORS (REPRESENTATIVE NUMBER)


Comments: Inspected

6.1.P FLOORS

Comments: Inspected

6.2.P WALLS

Comments: Repair or Replace

 **Growth on walls.** There were walls in the bathroom where growth was noted. It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.




6.3.P CEILINGS

Comments: Inspected

6.4.P WINDOWS/ MIRRORS

Comments: Repair or Replace

 **Cracked Window Pane.** The window pane in this bathroom was cracked. It is recommended for safety purposes that this window be replaced by a licensed contractor.



6.5.P Shower/ Tub enclosure.

Comments: Inspected

6.6.P PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.7.P PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.8.P TOILET FIXTURE

Comments: Inspected

6.9.P OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.P COUNTER/SINKS

Comments: Inspected

6.11.P SHOWER/TUB ENCLOSURE

Comments: Inspected

6(Q) . Building 2 Unit N - Bathrooms and Components

Items

6.0.Q DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.Q FLOORS

Comments: Inspected

Nation Wide Inspections

6.2.Q WALLS

Comments: Inspected

6.3.Q CEILINGS

Comments: Inspected

6.4.Q WINDOWS/ MIRRORS

Comments: Inspected

6.5.Q PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.Q PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.Q TOILET FIXTURE

Comments: Inspected

6.8.Q OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.Q COUNTER/SINKS

Comments: Inspected

6.10.Q SHOWER/TUB ENCLOSURE

Comments: Inspected

6(R) . Building 2 Unit O - Bathrooms and Components

Items

6.0.R DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected


6.1.R FLOORS

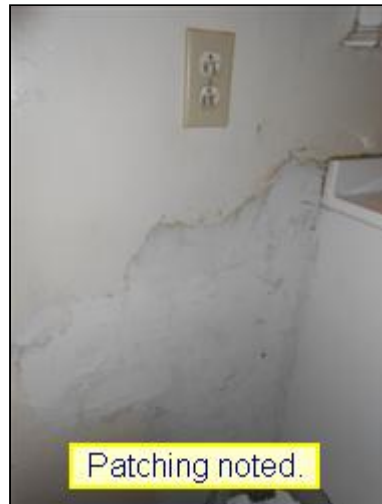
Comments: Inspected

6.2.R WALLS

Comments: Repair or Replace

Nation Wide Inspections

 **NOTE:** There was some patching noted to the walls of this bathroom. This is noted for your information.



6.3.R CEILINGS

Comments: Inspected

6.4.R WINDOWS/ MIRRORS

Comments: Inspected

6.5.R Shower/ Tub enclosure.

Comments: Inspected

6.6.R PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.7.R PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.8.R TOILET FIXTURE

Comments: Inspected

6.9.R OUTLETS SWITCHES AND FIXTURES


Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.R COUNTER/SINKS

Comments: Repair or Replace


Nation Wide Inspections

 **Caulking Needed.** There was an area around the sink/ counter connection that are in need of some caulking. It is recommended that this area be properly caulked by a qualified professional.




6.11.R SHOWER/TUB ENCLOSURE

Comments: Repair or Replace

 (1) **Loose shower wall lining.** The shower wall lining was not properly sealed. It is recommended that the lining be resealed to prevent water penetration into the wall.



 (2) **Missing backing at shower/bath handle.** It was noted that the shower/bath handle did not have backing to properly prevent water from entering the space behind the tub enclosure. Water penetration in to this area could result in water damage to the wall. It is recommended that a licensed contractor install a proper handle with proper backing.



6(S) . Building 2 Unit P - Bathrooms and Components

Items

6.0.S DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected


Nation Wide Inspections

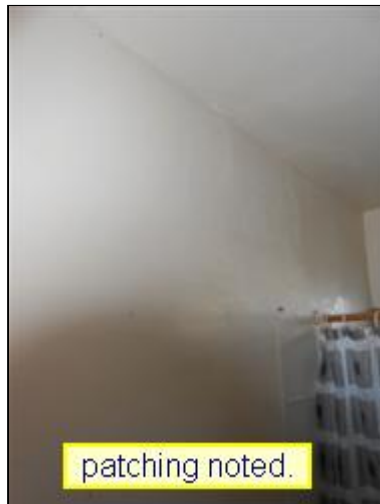
6.1.S FLOORS

Comments: Inspected

6.2.S WALLS


Comments: Repair or Replace

 **NOTE:** There was some patching noted to the walls of this bathroom. This is noted for your information.



6.3.S CEILINGS

Comments: Repair or Replace

 **NOTE:** There were some areas of patchwork noted at the ceiling of this bathroom. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.

6.4.S WINDOWS/ MIRRORS

Comments: Inspected

6.5.S PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected


6.6.S PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.S TOILET FIXTURE

Comments: Repair or Replace


Nation Wide Inspections

 **Loose Toilet.** The toilet fixture in this bathroom is loose at the floor. This could cause the wax ring to become dislodged and your toilet to leak water onto the floor. It is recommended that this toilet have the wax ring replaced and the toilet secured to the floor (to ensure a proper seal), and caulking be applied to the base of the toilet. **(WARNING) Over tightening will cause the porcelain to crack and the need for replacement of the toilet.**



6.8.S OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.S COUNTER/SINKS

Comments: Inspected

6.10.S SHOWER/TUB ENCLOSURE

Comments: Inspected

6(T) . Building 2 Unit Q - Bathrooms and Components

Items

6.0.T DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.T FLOORS

Comments: Inspected

6.2.T WALLS

Comments: Inspected

6.3.T CEILINGS

Comments: Inspected

6.4.T WINDOWS/ MIRRORS

Comments: Inspected

6.5.T PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

Nation Wide Inspections

6.6.T PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.T TOILET FIXTURE

Comments: Inspected

6.8.T OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.T COUNTER/SINKS

Comments: Inspected

6.10.T SHOWER/TUB ENCLOSURE

Comments: Inspected

6(U) . Building 2 Unit R - Bathrooms and Components

Items

6.0.U DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.U FLOORS

Comments: Inspected

6.2.U WALLS

Comments: Inspected

6.3.U CEILINGS

Comments: Inspected

6.4.U WINDOWS/ MIRRORS

Comments: Inspected

6.5.U Shower/ Tub enclosure.

Comments: Inspected

6.6.U PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.7.U PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected


6.8.U TOILET FIXTURE

Comments: Inspected

6.9.U OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

Nation Wide Inspections

 (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

(2) **Missing Outlet Cover .** Missing faceplates expose electrical parts of receptacle outlets, and switches creating a potential shock hazard. **For safety reasons all outlets and switches should have secure covers to reduce the chance of electric shock.**



6.10.U COUNTER/SINKS

Comments: Inspected

6.11.U SHOWER/TUB ENCLOSURE

Comments: Inspected

6(V) . Building 2 Unit S - Bathrooms and Components

Items

6.0.V DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.V FLOORS

Comments: Inspected

6.2.V WALLS

Comments: Inspected

6.3.V CEILINGS

Comments: Inspected

6.4.V WINDOWS/ MIRRORS

Comments: Inspected

6.5.V PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.V PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected


Nation Wide Inspections

6.7.V TOILET FIXTURE

Comments: Inspected

6.8.V OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace


 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.V COUNTER/SINKS

Comments: Inspected

6.10.V SHOWER/TUB ENCLOSURE

Comments: Repair or Replace

 **NOTE:** There appears to be some patching noted at the tub enclosure. It is recommended that you ask the current owner about this area. It is possible that there was a chip at the enclosure that they had wanted to cover, but it is also possible that there was a crack or hole that could leak and needs further attention. **Recommended further analysis and repair as needed.**



6(W) . Building 2 Unit T - Bathrooms and Components

Items

6.0.W DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.W FLOORS

Comments: Inspected


6.2.W WALLS

Comments: Inspected

6.3.W CEILINGS

Comments: Repair or Replace

Nation Wide Inspections

 **NOTE:** There were some areas of patchwork noted at the ceiling of this bathroom. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.



6.4.W WINDOWS/ MIRRORS

Comments: Inspected

6.5.W Shower/ Tub enclosure.

Comments: Inspected

6.6.W PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.7.W PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.8.W TOILET FIXTURE

Comments: Inspected

6.9.W OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.W COUNTER/SINKS

Comments: Inspected

6.11.W SHOWER/TUB ENCLOSURE

Comments: Inspected

6(X) . Building 2 Unit U - Bathrooms and Components

Items

6.0.X DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.X FLOORS

Comments: Inspected

6.2.X WALLS

Comments: Inspected

Nation Wide Inspections

6.3.X CEILINGS

Comments: Inspected

6.4.X WINDOWS/ MIRRORS

Comments: Inspected

6.5.X PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.X PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.X TOILET FIXTURE

Comments: Inspected

6.8.X OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.X GENERAL NOTE:

Comments: Inspected

6.10.X COUNTER/SINKS

Comments: Inspected

6.11.X SHOWER/TUB ENCLOSURE

Comments: Inspected

6(Y) . Building 2 Unit V - Bathrooms and Components

Items

6.0.Y DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.Y FLOORS

Comments: Inspected

6.2.Y WALLS

Comments: Inspected


6.3.Y CEILINGS

Comments: Inspected

6.4.Y WINDOWS/ MIRRORS

Comments: Repair or Replace

Nation Wide Inspections

 **Cracked Window Pane.** The window pane in this bathroom was cracked. It is recommended for safety purposes that this window be replaced by a licensed contractor.



6.5.Y PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.Y PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.Y TOILET FIXTURE

Comments: Inspected

6.8.Y OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend that GFCI protection be provided.

6.9.Y COUNTER/SINKS

Comments: Inspected

6.10.Y SHOWER/TUB ENCLOSURE

Comments: Inspected

Discoloration Noted. There is some discoloration of the caulking on the inside of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.



6(Z) . Building 2 Unit W - Bathrooms and Components

Items

Nation Wide Inspections

6.0.Z DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.Z FLOORS

Comments: Inspected

6.2.Z WALLS


Comments: Inspected

6.3.Z CEILINGS

Comments: Inspected

6.4.Z WINDOWS/ MIRRORS

Comments: Repair or Replace

 **Cracked Window Pane.** The window pane in this bathroom was cracked. It is recommended for safety purposes that this window be replaced by a licensed contractor.



6.5.Z PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.Z PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.Z TOILET FIXTURE

Comments: Inspected

6.8.Z OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.Z COUNTER/SINKS

Comments: Inspected

6.10.Z SHOWER/TUB ENCLOSURE

Comments: Inspected

6(AA) . Building 2 Unit X - Bathrooms and Components

Items

Nation Wide Inspections

6.0.AA DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.AA FLOORS

Comments: Inspected

6.2.AA WALLS

Comments: Inspected

6.3.AA CEILINGS

Comments: Inspected

6.4.AA WINDOWS/ MIRRORS

Comments: Inspected

6.5.AA PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.AA PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.AA TOILET FIXTURE

Comments: Inspected

6.8.AA OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.AA COUNTER/SINKS

Comments: Inspected

6.10.AA SHOWER/TUB ENCLOSURE

Comments: Repair or Replace



Discoloration Noted. There is some discoloration of the caulking on the side of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**



6(BB) . Building 2 Unit Y - Bathrooms and Components

Items

6.0.BB DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.BB FLOORS

Comments: Inspected

6.2.BB WALLS

Comments: Inspected

6.3.BB CEILINGS

Comments: Inspected

6.4.BB WINDOWS/ MIRRORS

Comments: Inspected

6.5.BB Shower/ Tub enclosure.

Comments: Inspected

6.6.BB PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.7.BB PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.8.BB TOILET FIXTURE

Comments: Inspected

6.9.BB OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.BB GENERAL NOTE:

Comments: Inspected

6.11.BB COUNTER/SINKS

Comments: Inspected

6.12.BB SHOWER/TUB ENCLOSURE

Comments: Inspected

6(CC) . Building 2 Unit Z - Bathrooms and Components

Items

6.0.CC DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

Nation Wide Inspections

6.1.CC FLOORS

Comments: Inspected

6.2.CC WALLS

Comments: Inspected

6.3.CC CEILINGS

Comments: Inspected

6.4.CC WINDOWS/ MIRRORS

Comments: Inspected

6.5.CC PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.CC PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.CC TOILET FIXTURE

Comments: Inspected

6.8.CC OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.CC COUNTER/SINKS

Comments: Inspected

6.10.CC SHOWER/TUB ENCLOSURE

Comments: Inspected

6(DD) . Building 3 Unit J - Bathrooms and Components

Items

6.0.DD DOORS (REPRESENTATIVE NUMBER)

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6.1.DD FLOORS

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6.2.DD WALLS

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

Nation Wide Inspections

6.3.DD CEILINGS

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6.4.DD WINDOWS/ MIRRORS

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6.5.DD PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6.6.DD PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6.7.DD TOILET FIXTURE

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6.8.DD OUTLETS SWITCHES AND FIXTURES

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6.9.DD EXHAUST FAN/ HEATER

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6.10.DD COUNTER/SINKS

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6.11.DD SHOWER/TUB ENCLOSURE

Comments: Not Inspected

NOT INSPECTED DUE TO UNIT BEING FOGGED.

6(EE) . Building 3 Unit K - Bathrooms and Components

Items

6.0.EE DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

Nation Wide Inspections

6.1.EE FLOORS

Comments: Inspected

6.2.EE WALLS

Comments: Inspected

6.3.EE CEILINGS

Comments: Inspected

6.4.EE WINDOWS/ MIRRORS

Comments: Inspected

6.5.EE PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.EE PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.EE TOILET FIXTURE

Comments: Inspected

6.8.EE OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.EE COUNTER/SINKS

Comments: Inspected

6.10.EE SHOWER/TUB ENCLOSURE

Comments: Inspected

6(FF) . Building 4 Unit A - Bathrooms and Components

Items

6.0.FF DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.FF FLOORS

Comments: Inspected

6.2.FF WALLS

Comments: Inspected

6.3.FF CEILINGS

Comments: Inspected

6.4.FF Shower/ Tub enclosure.

Comments: Inspected

Nation Wide Inspections

6.5.FF PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.FF PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.FF TOILET FIXTURE

Comments: Inspected

6.8.FF OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.FF COUNTER/SINKS

Comments: Inspected

6.10.FF SHOWER/TUB ENCLOSURE

Comments: Inspected

6(GG) . Building 4 Unit B - Bathrooms and Components

Items

6.0.GG DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.GG FLOORS

Comments: Inspected

6.2.GG WALLS

Comments: Inspected

6.3.GG CEILINGS

Comments: Inspected

6.4.GG WINDOWS/ MIRRORS

Comments: Inspected

6.5.GG PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.GG PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.GG TOILET FIXTURE

Comments: Inspected

6.8.GG OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.GG COUNTER/SINKS

Comments: Inspected

6.10.GG SHOWER/TUB ENCLOSURE

Comments: Inspected

6(HH) . Building 4 Unit C - Bathrooms and Components

Items

6.0.HH DOORS (REPRESENTATIVE NUMBER)


Comments: Inspected

6.1.HH FLOORS

Comments: Inspected

6.2.HH WALLS

Comments: Repair or Replace


 **Growth on walls.** There were walls in the bedroom where growth was noted. **It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.**

6.3.HH CEILINGS

Comments: Inspected

6.4.HH WINDOWS/ MIRRORS

Comments: Repair or Replace

 (1) **Cracked Window Pane.** The window pane in this bathroom was cracked. **It is recommended for safety purposes that this window be replaced by a licensed contractor.**



Nation Wide Inspections

(2) **Mildew at Window Frame.** There was mildew at the frames of the bathroom windows. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frames and there is no growth or damage at the sills. **It is recommended that these areas be cleaned with a bleach/water solution.**



6.5.HH PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.HH PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.HH TOILET FIXTURE

Comments: Inspected

6.8.HH OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.HH COUNTER/SINKS

Comments: Inspected

6.10.HH SHOWER/TUB ENCLOSURE

Comments: Inspected

Tub Tarnishing. The top of the shower/tub has heavy tarnishing. This is noted for your information and can be repaired or replaced at your convenience.



6(II) . Building 4 Unit D - Bathrooms and Components

Items

6.0.II DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.II FLOORS

Comments: Inspected

6.2.II WALLS

Comments: Inspected

6.3.II CEILINGS

Comments: Inspected

6.4.II WINDOWS/ MIRRORS

Comments: Inspected

6.5.II PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.II PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Inspected

6.7.II TOILET FIXTURE

Comments: Inspected

6.8.II OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

Nation Wide Inspections

6.9.II COUNTER/SINKS

Comments: Inspected

6.10.II SHOWER/TUB ENCLOSURE

Comments: Inspected

6(JJ) . Building 4 Unit E - Bathrooms and Components

Items

6.0.JJ DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.JJ FLOORS

Comments: Inspected

6.2.JJ WALLS

Comments: Inspected

6.3.JJ CEILINGS

Comments: Inspected

6.4.JJ WINDOWS/ MIRRORS

Comments: Inspected

6.5.JJ PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES


Comments: Inspected

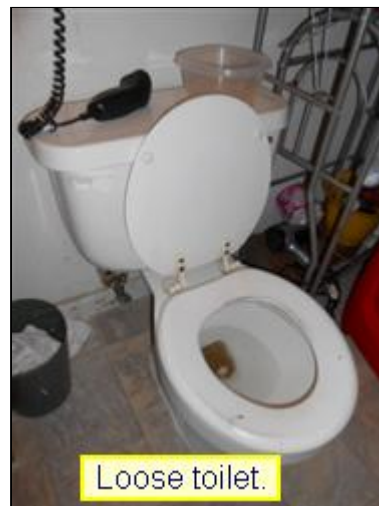
6.6.JJ PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.JJ TOILET FIXTURE

Comments: Repair or Replace

 **Loose Toilet.** The toilet fixture in this bathroom is loose at the floor. This could cause the wax ring to become dislodged and your toilet to leak water onto the floor. It is recommended that this toilet have the wax ring replaced and the toilet secured to the floor (to ensure a proper seal), and caulking be applied to the base of the toilet. **(WARNING) Over tightening will cause the porcelain to crack and the need for replacement of the toilet.**



6.8.JJ OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. It is recommended all bathroom outlets be GFCI protected or on a GFCI protected

Nation Wide Inspections

circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.JJ EXHAUST FAN/ HEATER

Comments: Repair or Replace

↑ INOP Fan. The fan in the first floor half bath did not work at time of inspection. It was not determined at time of inspection if this fan had been disconnected, or did not properly function. **It is recommended that this be further inspected and repaired if needed by a licensed electrician.**



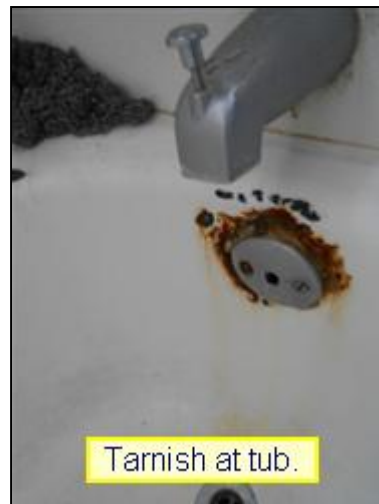
6.10.JJ COUNTER/SINKS

Comments: Inspected

6.11.JJ SHOWER/TUB ENCLOSURE

Comments: Repair or Replace

↑ Tub Tarnishing. The overflow at the shower/tub has heavy tarnishing. **This is noted for your information and can be repaired or replaced at your convenience.**



6(KK) . Building 4 Unit F - Bathrooms and Components

Items

6.0.KK DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

Nation Wide Inspections

6.1.KK FLOORS

Comments: Inspected

6.2.KK WALLS

Comments: Inspected

6.3.KK CEILINGS

Comments: Inspected

6.4.KK WINDOWS/ MIRRORS

Comments: Inspected

6.5.KK PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.KK PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

6.7.KK TOILET FIXTURE

Comments: Inspected

6.8.KK OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.KK COUNTER/SINKS

Comments: Inspected

6.10.KK SHOWER/TUB ENCLOSURE

Comments: Inspected

6(LL) . Building 4 Unit G - Bathrooms and Components

Items

6.0.LL COUNTERS/SINK/ CABINETS

Comments: Not Inspected

6.1.LL DOORS (REPRESENTATIVE NUMBER)

Comments: Not Inspected

6.2.LL FLOORS

Comments: Not Inspected

6.3.LL WALLS

Comments: Not Inspected

6.4.LL CEILINGS

Comments: Not Inspected

Nation Wide Inspections

6.5.LL WINDOWS/ MIRRORS

Comments: Not Inspected

6.6.LL Shower/ Tub enclosure.

Comments: Not Inspected

6.7.LL PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Not Inspected

6.8.LL PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Not Inspected

6.9.LL TOILET FIXTURE

Comments: Not Inspected

6.10.LL OUTLETS SWITCHES AND FIXTURES

Comments: Not Inspected

6.11.LL OTHER

Comments: Not Inspected

6.12.LL GENERAL NOTE:

Comments: Not Inspected

6.13.LL COUNTER/SINKS

Comments: Not Inspected

6.14.LL SHOWER/TUB ENCLOSURE

Comments: Not Inspected

6(MM) . Building 4 Unit H - Bathrooms and Components

Items

6.0.MM DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.MM FLOORS

Comments: Inspected

6.2.MM WALLS

Comments: Inspected

6.3.MM CEILINGS

Comments: Inspected

6.4.MM WINDOWS/ MIRRORS

Comments: Inspected

6.5.MM PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.MM PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected


6.7.MM TOILET FIXTURE

Comments: Inspected

Nation Wide Inspections

6.8.MM OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace


 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.9.MM COUNTER/SINKS

Comments: Inspected

6.10.MM SHOWER/TUB ENCLOSURE

Comments: Repair or Replace

 **Missing overflow cover at tub.** It was noted that the overflow cover to the tub was missing. **Recommend replacement of the cover by a qualified repair person.**



6(NN) . Building 4 Unit I - Bathrooms and Components

Items

6.0.NN DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

6.1.NN FLOORS

Comments: Inspected

6.2.NN WALLS

Comments: Inspected

6.3.NN CEILINGS

Comments: Inspected

6.4.NN WINDOWS/ MIRRORS

Comments: Inspected

6.5.NN PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

6.6.NN PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected


Nation Wide Inspections

6.7.NN TOILET FIXTURE

Comments: Inspected

6.8.NN OUTLETS SWITCHES AND FIXTURES

Comments: Repair or Replace


 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

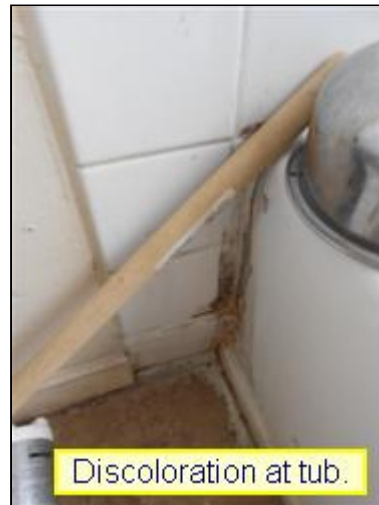
6.9.NN COUNTER/SINKS

Comments: Inspected

6.10.NN SHOWER/TUB ENCLOSURE

Comments: Repair or Replace

 **Discoloration Noted.** There is some discoloration of the caulking on the side of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**



7. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

Method used to observe Crawlspace: Crawled	Foundation: Poured concrete	Floor Structure: Slab 2 X 8
Anchor Bolts Provided?: Not Verified	Wall Structure: Wood 2 X 4 Wood Not Visible	Floor System Insulation: NONE

Items

Nation Wide Inspections

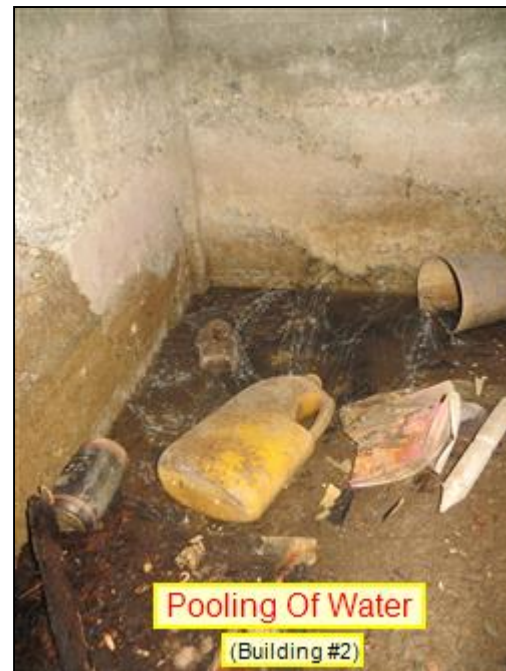
7.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Comments: Repair or Replace

(1) **Not Accessible- Not Inspected.** There were three locations of the crawlspace areas that were not accessible and were not inspected. These were located at the front right section of the first building, the far right section of the 4th building as well as a small middle section in the 4th building at the left side. **These areas were found to be obstructed or unsafe to inspect.** The foundation, plumbing, electrical, and other structural elements at these two locations were not able to be inspected. **It is highly recommended that an access be provided for these areas, and the components be further inspected by a qualified specialist.**



(2) **Pooling Water and Heavy Moisture.** There were areas under the house which had areas of pooling water and heavy moisture content. The worst of the moisture related issues was located at the underside of the second building. It appears that moisture is entering under the house from exterior areas in which the grading around the house slopes toward the foundation. **It is recommended that roof drains be provided to help shed water away from these areas.**



(3) **Improper Venting of Crawlspace Areas.** There were no vents provided at large sections at the underside of the foundation area. As with any enclosed area, ventilation is very important to ensure proper air flow of these areas. Adequate airflow is key in helping prevent moisture related problems and issues.

Currently there are SEVER problems associated with the lack of venting and water intrusion at the underside of the buildings. It is recommended that this area be further analyzed and actions taken to allow for proper ventilation.



(4) **Foundation Cracks.** There were several small foundation cracks at the perimeter walls of the buildings. Most of these cracks were very small and were not offset. The largest of the cracks appear at the right side of building #1. The largest of these cracks was about 1/4 of an inch in width and appears at an interior foundation wall. It is recommended that these cracks be further evaluated and repaired as needed by a licensed foundation specialist.



Nation Wide Inspections

(5) Evidence of Water Intrusion.

The ground at the crawl space under the building had evidence of water intrusion at the underside and was damp. Crawlspace should remain dry throughout the year, even after heavy rains. It is recommended that a irrigation specialist be called out to assess and correct drainage around the perimeter of the buildings.




7.1 COLUMNS OR PIERS

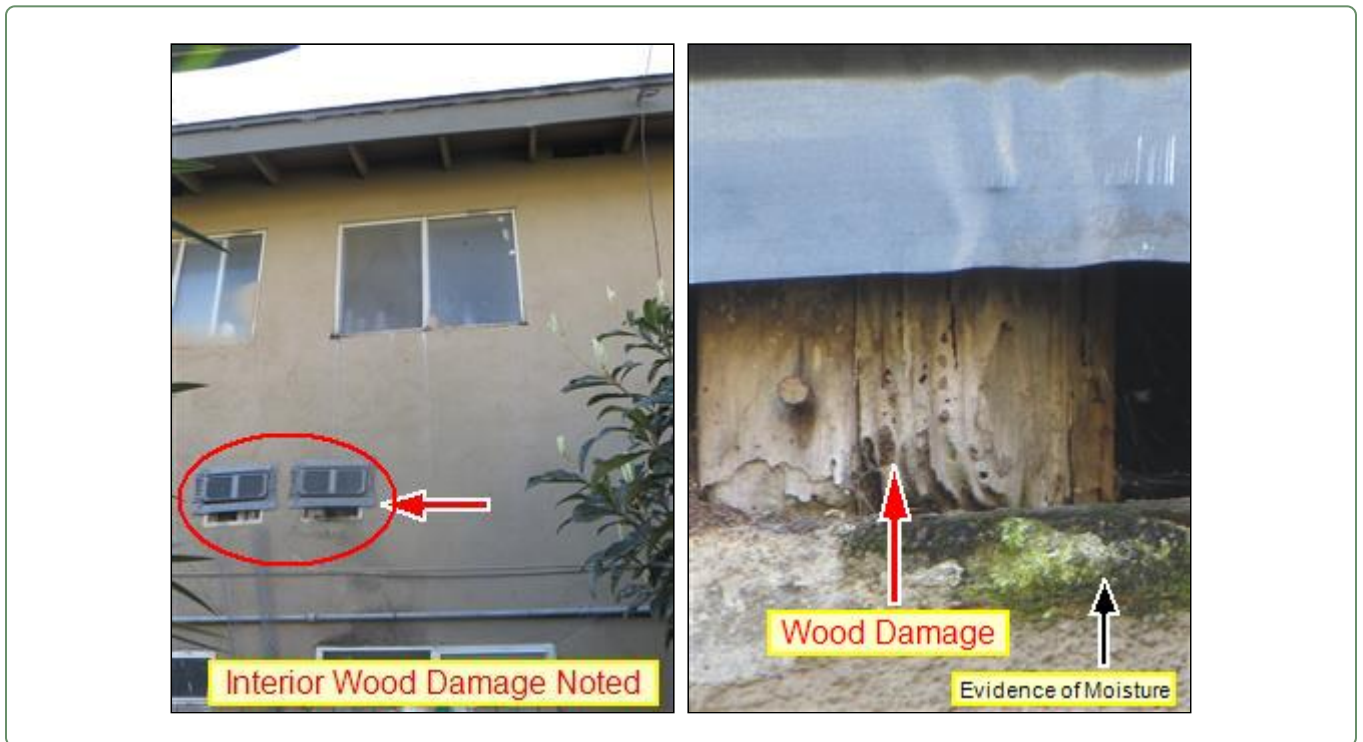
Comments: Not Present

7.2 WALLS (Structural)

Comments: Repair or Replace

 (1) **NOTE:** It is noted that most buildings which were constructed between the years of 1930's to the mid 1980's will contain materials which contain asbestos, and lead. This is noted for your information. It is important as to not disturb these materials with out the use of proper equipment. For more information on Asbestos visit: <http://www.epa.gov/asbestos/pubs/ashome.html>

(2) **Wood Damage Noted at Interior of Wall.** There was a section of wall at the rear of the 2nd building that had some exposed penetrations. It was observed, through these penetrations, that the wood framing had evidence of moisture and wood damage. **The extent of this damage was not able to be determined.** It was noted that these locations were located at the exterior of the shower walls. These walls were originally constructed with low shower windows that were notorious for allowing for water intrusion. It is not known how many of these locations have water damage or structural damage to the interior wall framing. It is recommended that a few locations be further evaluated and repaired as needed by a licensed contractor.



7.3 FLOORS (Structural)

Comments: Repair or Replace

📍 (1) **Severe Wood Damage and Growth.** There are multiple areas at the underside of each building (each of the 3 buildings containing crawlspaces) that have severe water damage, wood deterioration and growth to the floor sheathing and framing members. These locations were noted throughout the underside of the buildings, and are especially prevalent around the plumbing areas. The ground at several locations were moist and there was limited to no venting at several sections of the building. **Some of the flooring was presently wet due to plumbing leaks, and other areas of the flooring were wet due to lack of ventilation and condensation.** Many of these areas had severe wood damage and rot. It was noted that some areas had repairs conducted but have since been damaged. **It is recommended that these areas be further evaluated and repaired as needed by a licensed contractor and mold specialist and repaired as needed.**



Severe Wood Damage



Severe Wood Damage



Growth Noted





(2) **Wood Damage Noted.** There was some wood damage to the flooring framing members and sheathing at the underside of the house. It is recommended that a termite specialist be called out for further analysis and that all damaged wood be repaired or replaced by a licensed contractor.



Nation Wide Inspections

(3) **Evidence of Wood Destroying Organisms.** It was noted that there were several tubes extending up the foundation wall, from the ground to sill plates (walls) at the underside of the buildings. The most abundant of these areas was located at the underside of the 4th building. **It is recommended that these areas be further evaluated by a termite specialist and repaired/ treated as needed.**




7.4 CEILINGS (structural)

Comments: Inspected

7.5 ELECTRICAL WIRING (Under Floor Space)

Comments: Repair or Replace

 **Exposed Wires.** There was a wire run at the underside of the second building that had exposed wires. **These wires were not tested, and it was not known if these were live wires carrying current.** This wire was located at the rear, middle section of the second building. **It is recommended that these wires be tested and properly capped and secured by a licensed electrician.**



7.6 INSULATION UNDER FLOOR SYSTEM

Comments: Not Present

NOTE: The floor system for the front of the house is not insulated. Heat loss can occur more on this home than one that is properly insulated. This is noted for your information.


Nation Wide Inspections

7.7 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Not Present

7.8 VENTILATION OF FOUNDATION AREA (crawlspce or basement)

Comments: Repair or Replace

 **Insufficient ventilation of crawlspace.** It appears that the visible ventilation of the crawlspace was insufficient for it's size. Crawlspace should have a minimum of one square foot of ventilation for every 150 square foot of crawlspace. Currently it appears that the only source of ventilation is from the access points. There are severe issues at the underside of these buildings related to water intrusion and lack of sufficient venting. **There were areas of water condensation forming at the underside of the flooring materials and framing members.** It is recommended that the underside of these buildings be further evaluated by a licensed contractor, specialist or engineer to determine the best method to allow for proper ventilation of the crawlspace.



Water Accumulation From
Condensation At Beams

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Nation Wide Inspections

Water Source:

Public

Water Filters:

None

Plumbing Water Supply (into home):

Copper

Plumbing Water Distribution (inside home):

Copper

Plumbing Waste Line:

Cast iron

AGED

Recommend these lines be scoped by a plumber

Water Heater Power Source:

Electric

Water Heater Capacity:

30 Gallon (small)

40 Gallon (1-2 people)

41 Units

Water Heater Manufacturer:

BRADFORD-WHITE

GE


MORFLO

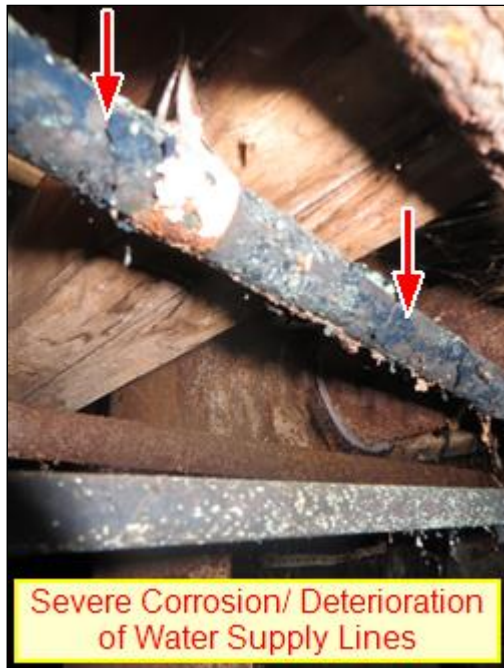
Items

8.0 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Repair or Replace

(1) **NOTE**. The hot water lines did not have insulation. Insulation around the hot water lines is an efficient way to save energy, and money by limiting the heat loss. This is noted for your information.

 (2) **Severe Deterioration- Active Leak**. The plumbing supply lines at the underside of the buildings have severe tarnishing and deterioration. There is severe electrolysis and deterioration of the supply lines at the underside of the buildings. Electrolysis occurs when incompatible materials come into contact with one another. These pipes were black in color, which could indicate that there is electrical current affecting these lines. **There was an active leak noted at the underside of the first building.** It is recommended that these lines be further evaluated and repaired as needed by a licensed plumber.



(3) **Improper Support of Water Lines**. The copper piping has some areas that are being supported by galvanized metal straps. Copper piping should be supported by a non-metallic plumbing strap or other means

to avoid contact with incompatible materials. Improper support can cause electrolysis and damage to the lines. It is recommended that the pipe be properly supported and protected by a licensed plumber.



(4) **Corrosion at Shut Off Valves (Angle Stops).** It was noted that there was some corrosion at some of the fixture shut off valves at some of the fixture units or appliances. These valves are visually inspected but are not tested or turned (due to insurance purposes) to determine working order. It is recommended that these be further evaluated and repaired or replaced if needed.

8.1 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

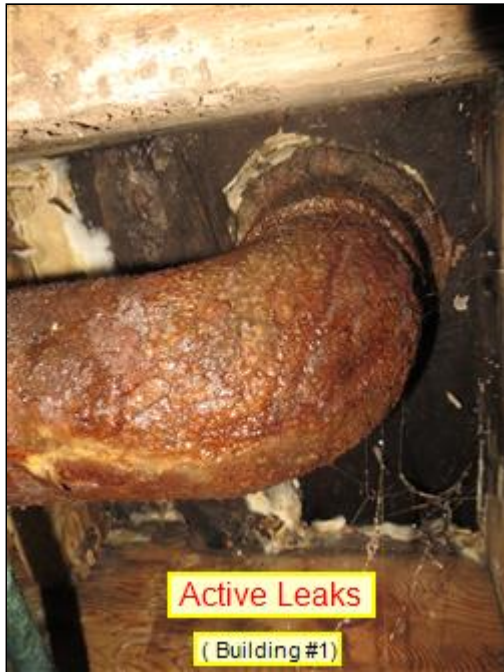
Comments: Repair or Replace

📌 (1) **NOTE:** Replaced Plumbing Noted. This house was originally plumbed with cast iron waste lines which typically have a life expectancy of about 50+ years. It was noted that some sections of the waste lines have had repairs made and have been replaced with ABS (a newer plastic type material). This inspection is limited and the condition at the interior of the pipes cannot be viewed or determined. Only the exterior condition of the pipes are visible for this part of the inspection. It is highly recommended in homes of this age that a plumber with a camera be called out for further evaluation of the waste lines.

📌 (2) **Old Cast Iron Plumbing With Deterioration and Leaks.** The waste lines at the underside of these buildings are mainly constructed of the original cast iron. These lines are over 50 years old and are not all visible and were not able to be inspected for interior physical damage, clogs, root intrusion or other damage. **Due to the type and age of the material it is recommended that the waste lines be further scoped and evaluated.** Cast iron waste lines rust and deteriorate from the inside out- The true dimensional circumference, and function could not be determined at the time of the inspection. It is highly recommended that a plumber, equipped with a camera, be called out to scope the interior of these lines before the end of the contingency period. This will help to determine the true condition of the waste lines from the house to the city connection.



🏠 (3) **Cast Iron Leaks Noted Under House.** There are a few active leaks at the underside of the buildings. These leaks occur in the crawlspaces of the first and second buildings. **There were several areas which suggest that the toilets are not properly seated and are actively leaking.** It is recommended that these be further evaluated and corrected as needed by a licensed plumber.



📍 (4) **Active Leaks Under Bathrooms.** There were several active leaks at the underside of the bathrooms of both building #1 and #2. It is recommended that the waste system be further inspected, evaluated and repaired as needed by a licensed plumber.



📍 (5) **Improper Pipe Connections.** There was an improper plumbing connection at the waste line at the underside of the 2nd building. A newer section was improperly connected to the original cast iron. The connection was not fitted with a proper boot and there were gaps at the connection. **These gaps can allow sewer gases to escape from the lines and enter the house.** It is recommended that this connection be further evaluated and repaired as needed by a licensed plumber.



📍 (6) Moisture Around Pipe Areas.

It was noted that the soil was moist at the underside of the house around the cast iron plumbing. The cast iron plumbing typically has a life expectancy of 50 years. The dampness around these lines may indicate that there damage to the waste lines at these areas. The sections of waste lines buried within the ground are not visible and the condition of these lines were not able to be determined. It is recommended that the waste system be further evaluated and scoped with a camera by a licensed plumber. All damaged materials should be replaced as needed by a licensed contractor.



📍 (7) **Improper Slope of Waste Line.** There was a waste line at the underside of the house that does not have a proper downward slope. Waste lines (which are 3 inches or greater) must maintain a minimal downward slope of 1/8 inch. In this application there is a section of plumbing that did not appear to have a proper slope. This can cause water and debris to remain within the pipe at this location. It is recommended that this be further evaluated and that the slope of this pipe be corrected by a licensed plumber.



📍 (8) **Improper P-Trap** . There was an improper P-Trap noted at the underside of the first building. This was noted at one of the the hall bathrooms. All plumbing fixtures should have a single P-trap, which inhibit sewer gases from entering the house through the waste lines. In this application a P-Trap was configured. P traps are engineered and tested fittings. Built on site traps can inhibit proper working order. It is recommended that this be further evaluated and repaired as needed by a licensed plumber.



📍 (9) **Missing Plumbing Vent?**. Plumbing systems are equipped with vents, which remove both pressure and gasses from the waste system. Typically these pipes extend through flashings to the exterior of the house and terminate no less than 6 inches above the roof line. **Missing vent stacks or air admittance valves can cause the water to improperly drain causing the pipe to back up.** It could not be determined if the improperly sloped line had a proper vent stack. It is recommended that this be further evaluated and repaired as needed by a licensed plumber.

8.2 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Not Inspected

Unknown Water Shut-Off Locations. The water shut off valves for each of the units was not able to be located. This is something you will want to know incase of a plumbing emergency. **It is recommended that the water shut off be located or the building shut off or meter can be used.**

8.3 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Repair or Replace

↑ (1) WATER HEATER NOTE: Every unit in each of the 4 buildings has it's own water heater. Each of these water heaters were 30 gallon electric water heaters. Some of these water heaters were older units and some were newer. Below is a list of newer water heaters (4 years old or newer).

Newer Water Heater Units:

Building #1: Unit C (2010),

Building # 2: Unit M (2009) Unit N (2009), Unit O (2011) Unit Q (2009)

Building #3: (Unknown)

Building #4: (no newer water heaters)



(2) Common Problems for Most Every Unit:

NOTE: Older Heaters. **It is noted that most of the water heaters are 10 years or older.** (Water heaters typically last 10 to 15 years) Many of these water heaters may need replacement soon. .

Missing Pan. The water heaters are not equipped with drain pans. All water heaters located in attics or closets

Nation Wide Inspections

(which have wood framing which could be damaged should the water heater leak), are required to have a drain pan which has a minimum depth of 1.5 inches in depth, with an attached drain line that is no smaller than 3/4 inch. **It is recommended that this unit be supplied with a proper pan by a licensed plumber or contractor.**

Missing Straps. The water heaters are not currently strapped with seismic straps. All water heaters are required to be strapped at both the upper third and lower third of the tank. The lower strap should not be less than 4 inches from the heater controls. **These straps should be designed for this purpose and be bolted to the framing members of the wall.** **It is recommended that a qualified person, properly strap the water heater.**

Improper Straps. The water heaters are not strapped with proper material. All water heaters are required to be strapped at both the upper third and lower third of the tank. The lower strap should not be less than 4 inches from the heater controls. These straps should be designed for this purpose and be bolted to the the framing members of the house or wall. **Currently some of the water heaters are strapped with metal plumbers tape.** **It is recommended that a qualified person, properly strap the water heater.**

Blocking of Water Heater Needed. blocking helps to avoid lateral movement. **It is recommended that needed water heaters have proper blocking to inhibit movement.**

No TPR Pipes. The TPR Valves at several of the bottom units are not attached to a drain pipe. TPR valves are a Temperature, Pressure Relief Valve which are designed to open if the temperature exceeds 210 degrees or builds a pressure exceeding 150 PSI. These lines should be made with that material allowed for water distribution and should terminate outside within 6-24 inches from the ground. It is not ok for these to terminate into a pan or under the house. **Recommend that a licensed plumber fix these connections.**

(3) **Hazardous Wiring.** The water heater in unit # E (of the first building) has exposed wiring. **It is recommended for safety purposes that this be corrected by a licensed plumber or Electrician.**



8.4 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

Nation Wide Inspections

8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Repair or Replace

↑ (1) **SEVERE Deterioration of Gas Lines.** The gas lines at the underside of the house have SEVERE deterioration. There was severe pitting and splintering of the gas lines where the lines were in contact with the concrete foundation. Gas lines should be protected at all through penetrations in help to inhibit corrosion and deterioration of the lines. In this application the lines are severely deterioration and should be replaced. **Due to the severity of the current damage, this is considered to be unsafe and a health hazard until further inspected by a licensed specialist.** It is highly recommended that these lines be further evaluated and repaired as needed by a licensed plumber.



(2) **POSSIBLE GAS LEAK.** There was a gas smell in the middle attic section of the first building. The source of this smell was not able to be determined. It appears that this smell, could be coming from a gas line, furnace or other gas appliance. **Gas leaks can result in serious heath risks, as well as fire explosion resulting in death.** It is recommended that this be immediately evaluated and repaired as needed by a licensed plumber or specialist.

8.6 SUMP PUMP

Comments: Not Present

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

Electrical Service Conductors:	Panel capacity:	Current Panel Output:
Overhead service	400 Amp	400 AMP
	200 AMP	200 AMP
Panel Type:	Electric Panel Manufacturer:	Branch wire 15 and 20 AMP:
Circuit breakers	SQUARE D	Copper
Wiring Methods:		
Romex		

Items

9.0 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Comments: Repair or Replace

 (1) **The Electrical System Was Comprised of Three Separate Disconnects:**

Building #1: Square D. 400 Total Amperes

Each of the 11 units for this building was supplied with 30A.

House Meter was 50A.

Building #2: Square D. **400 Total Amperes**

Each of the 15 units for this building was supplied with 30A.

House Meter was 100A.

Building #3: Square D. **200 Total Amperes**

Each of the 11 Units for these buildings was supplied with 30A.

Building #4: Square D.

Each of the 5 Units were supplied with

(2) **Ungrounded System.** These buildings were built before grounding of receptacles was required. This is an older system in which the two pronged outlets in the units are not grounded. Because of the inherent danger of this older system, all outlets within six feet of a water source should be grounded or be protected by a GFCI protected outlet. You may want to consider upgrading to a newer, safer, electrical system.

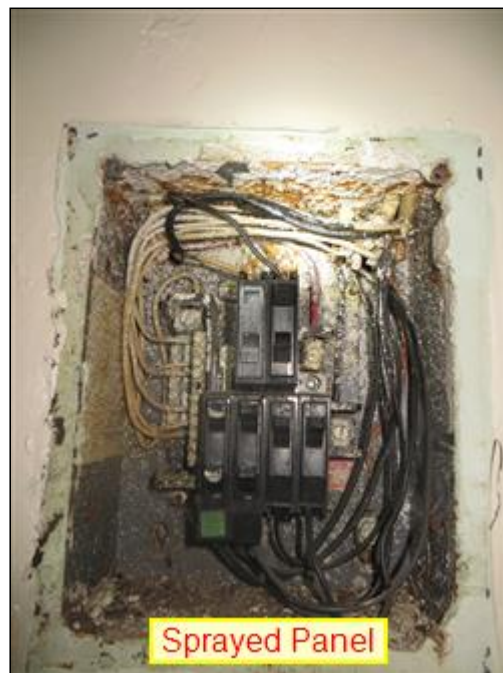
The units in each of the buildings are not equipped with branch circuit grounding at the panel or grounding at the panel with a UFER rod or other means . This means that there are two wires, a white and a black, extending from the panel to most of the outlets, or fixtures. A grounding (green)wire is not provided. **Most all of the outlets all tested as not having a grounding source.** It is important to know and understand that these outlets are **NOT GROUNDED**, and these outlets have been replaced only for appliance convenience . **The National Electrical Code (NEC) allows the installation of grounded type receptacles on a two-wire system ONLY if a Ground Fault Circuit Interrupter (GFCI) has been installed at the beginning of the circuit, either as a breaker or a feed-through receptacle at the first receptacle in the circuit.** All of the receptacle outlets installed downstream must have a label stating that they are GFCI-protected and that there is no equipment ground. This is noted for your information and a GFCI outlet or breaker should be installed at the panel or at the beginning of each run by a licensed electrician.

No UFER Grounding. These buildings and panels are not equipped with a grounding electrode system. **Buildings constructed before 1978 often used the cold water piping system as a grounding path.** For today's standards there are alternative and better grounding paths which are now required for new construction or when new panels are installed. There are a variety of methods to do this including a UFER (20 ft run) or ground rod (min 8 Ft deep with Min #10 AWG), and the cold water supply line. **It is recommended that a licensed electrician be called out and provide a ground rod or other acceptable means.**

(3) **Not All Accessible, Visible or Inspected.** The Electrical Panels within each of the units are located in the bedroom closets. Most of the panels buried under personal belongings and were not accessible or inspected. Only a few panels were observed in each of the buildings. **It is recommended that further evaluation of the electrical panels be conducted and repairs be done as needed by a licensed electrician.**

Low Amperage Availability. The main breaker for each of these units is currently rated for 30 amperes. For the number of today's appliance needs, including the electric water heater, these systems are under powered. Of the four tenants asked: None stated that they had problems with the breakers "Tripping". **This is noted for your information and can be further evaluated and upgraded if deemed necessary.**

Sprayed Panel. Several of the sub-panels have been sprayed with paint or texture. Some of the sub-panels have been sprayed with paint or texture. It could not be determined if all of the bus bars at the electrical panels have been sprayed as well. **Sprayed bus bars create resistance, which cause the breakers to heat up, increasing the risk of fire.** **It is recommended that these panels be further inspected by a licensed electrician and repaired or replaced as needed.**



Nation Wide Inspections

(4) Breakers Not Properly Labeled.

The Breakers in the sub panel are not labeled for individual use or are improperly labeled. It is recommended that each breaker be labeled for its correct use for easy identification. Recommend that an electrician label each breaker for its use.

Improper/ Illegible Labeling. Some labels at the sub panel are present, but are illegible or do not appear to be correct. It is recommended for safety reasons that the panel labeling be updated for easy identification by a licensed electrician.



(5) **Missing Handle Tie.** Currently the main breaker for unit # 10 (J) does not have proper handle tie. Handle ties are required on all 220/240 runs.

This is improper and should be corrected by a licensed electrician.



9.1 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: Inspected

9.2 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Repair or Replace

All outlets within 6 feet of a water source should be grounded. Because this house does not have grounding at any of the receptacles; it is recommended that a GFCI type outlet be substituted in these locations. For

Nation Wide Inspections

safety purposes all outlets within 6 feet of a water source should be grounded or protected by a GFCI type outlet. **It is recommended that a means of protection or grounding be provided by a licensed electrician.**

9.3 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Not Present

NOTE: Although this unit may not require GFCI outlets (Ground Fault Circuit Interrupters) at all the listed locations, they are recommended for all outlets in the kitchen (serving countertops), at the outdoor outlets, in the bathrooms, and in the garage. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that electricity is unbalanced, or if it detects improper connections of the neutral. It is recommend in these locations, that outlets be GFCI protected .

9.4 LOCATION OF MAIN AND DISTRIBUTION PANELS


Comments: Not Inspected

FYI: **Sub-Panel Location:** Bedroom Closet

NOTE: Electrical panels are no longer permitted to be located in clothes closets. Should you do any modifications to this panel, it is possible that you may need to relocate this panel. Check with your local building department, or licensed electrician for further details about the location of this panel and desired upgrades.

9.5 SMOKE DETECTORS

Comments: Repair or Replace

 (1) **NOTE: Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

For more information about smoke alarms please visit the following sites:


http://www.firesafetycouncil.com/pdf/review_on_best_sensor_type_for_kitchens.pdf

http://en.wikipedia.org/wiki/Smoke_detector

(2) **Missing Smoke Detectors.** Smoke detectors are now required to be in each bedroom and in the room outside the bedroom (hallway). **It is recommended that smoke detectors are present at these locations.**

9.6 CARBON MONOXIDE DETECTORS

Comments: Repair or Replace

 (1) **NOTE:** It is recommended that the carbon monoxide tester be tested upon moving in and the batteries be changed. The location and placement of these devices vary widely depending on Manufactures recommendations. Typically these are suppose to be installed outside the sleeping areas at eye level. It is recommended that that you read and follow the manufactures recommendation as to the proper location of these devices. Batteries should be changed every 6 months or when indicated by device or manufactures recommendations.

(2) **No Carbon Monoxide Detector.** Carbon monoxide detectors are required to be installed in all dwelling units. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. These detectors act like a smoke alarm, and makes an audible warning to alert you if particles are detected. These need to be installed in each unit and on each floor level. It is a safety requirement that a working carbon monoxide detector be installed in each of these units

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Heating / Central Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.


Styles & Materials

Heat System Brand:	Energy Source:	Number of Heat Systems (excluding wood):
HOLLY	Gas	Two
WILLIAMS (wall heater)		(For each unit)

Items

10.0 HEATING EQUIPMENT

Comments: Not Inspected, Repair or Replace

 **Older Furnace Units- Recommend further analysis** . Most of the furnace for these units are older Holly or Williams gas fired furnaces. At time of inspection there were some rust flakes in the burner chambers. Some of the furnaces were not accessible and were not tested or inspected. Most units did not show visible signs of damage or improper wear- however furnaces can have minor cracks that cannot be detected through our inspections. **Because of the age of most of these furnaces, and the inherent dangers associated with improperly working gas furnaces, it is recommended that they be thoroughly inspected and evaluated by a licensed HVAC Specialist or by SDG&E.**

NOTE: The Scope of this inspection does not include a thorough analysis of the inner components of the furnaces. This includes but is not limited to cracks in the heat exchanger and areas of the heater that are not

accessible. It is recommended that all heaters be thoroughly evaluated by a licensed HVAC specialist every year to ensure proper working conditions.

Pilots Off- Not Tested. Most of the wall heaters were "OFF" (did not have the pilots lit), and were not able to be inspected for proper working order. Our insurance provider does not allow us to light any appliances. Most of the tenants did not use the furnaces and did not know if they properly functioned. **It is recommended that you contact SDG&E or a HVAC specialist for further evaluation of the wall furnaces, and repairs if needed.**

Newer Wall Furnaces Were Observed at the Following Locations:

Building #1: Unit E, Unit G, Unit I and Unit L

Building #2: Unit N, Unit P, Unit U, Unit Q, and Unit Z

Building #3: Unit J

Building #4: Unit A, Unit B, Unit C, Unit H, and Unit I

10.1 COOLING AND AIR HANDLER EQUIPMENT

Comments: Not Present

10.2 THERMOSTAT

Comments: Not Inspected

10.3 AUTOMATIC SAFETY CONTROLS

Comments: Not Inspected

10.4 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: Not Present

10.5 GAS/LP FIRELOGS AND FIREPLACES

Comments: Not Present

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary



Nation Wide Inspections

10928 Black Mtn Rd
San Diego, CA 92126

Customer
Sample Report

Address
1202 Missouri Ave
Oceanside Ca 92054

1. Roofing / Chimneys / Roof Structure and Attic

1.0 ROOF COVERINGS

Repair or Replace



(1) **FYI:** The roof inspection is a general overview of the roof's current condition. We are not roofing specialists. We cannot always accurately determine if there are active roof leaks. Often times a roof can leak due to problems or issues that are not visible at the time of the inspection. We will not be held liable for roof leaks that do not have visible issues at the time of the inspection. This includes patching of a roof. Visible evidence includes: physical damage, visible water staining at the interior ceilings, visible roof defects, improper roofing material or improper application of visible materials, worn areas, or improper and missing materials or flashings. Please understand that we do our best to determine and analyze the true condition of your roof and it's components. We try and report everything as accurately as we can. If you are concerned about any areas of this home, you are always encouraged to further evaluate any areas you have concerns about through a licensed specialist.

FYI: Patching Noted. There were some areas of the roof that have been patched. This is noted for your information. There did not appear to be any visible problems with these areas. **We are not able to determine at the time of the inspection if the roof leaks at these areas.** This is noted for your information, and as a disclaimer. Because a roof is not completely visible for this inspection, it is always recommended that a licensed roofing contractor be called out for further evaluation if the repairs cannot be verified as being done by a licensed roofing contractor.




(2) **Exposed Nails at Field** . Roofing materials should not have exposed nails or staples; these fasteners should be covered by roofing material to decrease the chance of leaks. It was noted that there were several nail heads that were covered with Mastic however there were currently a few exposed nails found throughout the field of the roofs. Typically Three-Tab shingle are secured with 4 nails (unless installed in high wind areas where you may have 6). Nail placement is typically 1 inch from each of the sides (apx. two inches above the top of the keyway) and two inches above each keyway. In this application it does not appear that either the standards of practice or the manufactures specifications were followed. **Improper roofing installation can lead to shortened roof life**

1. Roofing / Chimneys / Roof Structure and Attic

expectancy and leaks. It is recommended that this roof be further evaluated by a licensed roofing contractor and be repaired as needed.


1.1 FLASHINGS

Repair or Replace

-  (1) **Improper Installation of Drip Edge.** The felt/ underlayment of the the house drip edge was installed under the flashing. When installing drip edging at the base, the roofing felt should be installed over the top of the drip edge, and the sides should be tucked under. Improper application increases the risk of moisture penetration. It is recommended that the be corrected by a licensed roofing contractor.


1.3 ROOF VENTILATION

Repair or Replace

-  **Eave Vents Blocked.** The attic is supplied with eave vents for ventilation. Although there is currently nothing physically wrong with the venting system, the vents have been covered in the attic by pigeon nests at some locations limiting the ability to effectively vent . Insufficient ventilation, can not only cause the building to not efficiently heat and cool; but it also can decrease the life expectancy of the roof. Recommend that the nests and debris in the attic be removed from the vents to allow for proper ventilation.


1.4 ROOF DRAINAGE SYSTEMS (gutters and downspouts)

Not Present, Repair or Replace

-  (3) **Partial Gutters.** The partial drainage system for this roof is inadequate. Roof gutters direct water away from the building and foundation and are crucial in areas with drainage issues. It is recommended a complete gutter system be supplied for each of the buildings and that the drainage system discharge away from the foundations of the buildings.


1.5 ROOF STRUCTURE AND ATTIC (Report leak signs or condensation)

Repair or Replace

-  (2) **Wood Damage.** There were several areas of wood damage noted in the attic spaces of each of the buildings (two of the buildings were not entered or inspected). There was damage to some of the wood framing and ceiling joists at several locations. It is recommended that you have a termite report conducted and you read through the report for more information about this damage and the corrections and repairs recommended.


1.6 INSULATION IN ATTIC

Not Present, Repair or Replace

-  **No Insulation.** There was currently no insulation in the attics. Insulation is used to help retain the heat in the winter and help cool the building in the summer. Areas missing insulation or with inadequate insulation, will not only cause the building and units to not efficiently heat and cool; but it can also decrease the life expectancy of the roof. Recommend replacement of missing or insufficient insulation.

1.7 VISIBLE ELECTRIC WIRING IN ATTIC


Repair or Replace

-  **Missing Electrical Boxes.** All wire connections need to be concealed within proper listed electrical boxes. Currently there are wire connections not contained with junction boxes. Junction boxes are used to conceal wire connections, protecting them from damage and decreasing the risk of fire. Recommend installation of outlet boxes on all exposed wire connections by licensed electrician.

2. Exterior

2.0 DRIVEWAY/ PARKING AREAS

Repair or Replace

-  **Erosion and Damage of Asphalt.** The driveways at the front of the buildings were worn and deteriorated at multiple locations. It was noted that there were sections of the driveway that did not have adequate drainage or a proper directional slope, allowing water to puddle or run in multiple paths. There was no designated drainage running down the driveway, and there was only one visible storm drain at the base of the driveway. The driveways need

2. Exterior

patching at several locations and re-sealing. **It is recommended that the driveway be further evaluated and repaired as needed by a licensed contractor.**

2.1 STAIRS, PATIOS AND WALKWAYS

Repair or Replace



(3) **Wood Damage- Further Evaluation Needed.** The landings at several of the stairs had worn decking and damaged wood. Because the interior structural elements were not able to be inspected and the condition determined it is recommended that these areas be further evaluated. It was noted that there was evidence of water intrusion at some of these locations as well as serious wood damage at the stair connection. **Due to the severe visible wood damage, it is recommended that the interior locations of these landings be further evaluated. It is recommended that these areas be further evaluated and repaired as needed by a licensed contractor.**

2.2 VEGETATION, GRADING, AND DRAINAGE

Repair or Replace



(2) **Trees Next To Building.** It was noted that there was a large tree in close proximity to the house. Some trees can have evasive root structure which can potentially cause damage to house foundations, plumbing and irrigation systems. **It is recommended that you consult an arborist or other plant specialist about this tree and the potential problems that might be associated with it.**

2.4 WALL CLADDING FLASHING AND TRIM

Repair or Replace



(1) **NOTE:** There were several areas of stucco with common cracking. Some of these cracks are small and others are larger. These cracks appear to be cosmetic due to house settlement and or concrete shrinkage. There does not appear to be any evidence of structural issues. This is noted for your information and can be further evaluated if you deem necessary.

NOTE: It was noted that there were areas of patchwork as some areas of the building. The reason for this patchwork could not be determined. There were currently no problems with these areas at the time of inspection and this is noted for your information only.

NOTE: The exterior wall at the bathroom had patchwork noted. Often times, in older homes with low laying windows located in the shower, water gets into the walls and deteriorates the frame and walls of these areas. **We are not able to view the inner walls or structure at these areas.** There could be damage to the inner wall or framing at this location. Although there may not be any visible damage at the time of the inspection you may want to consider further evaluation at this location by a licensed contractor.

NOTE: Efflorescence is a (powder-like substance) of calcium/ and salt which deposit at the exterior of the block or masonry as water evaporates. In new construction this may occur through hydration as the block or masonry cures. On older block walls, this usually indicates that moisture is in contact with the masonry. Typically in these instances, efflorescence is not a structural concern, but more of an aesthetic issue. This is noted for your information and should be observed over time.

2.5 WINDOW SCREENS

Repair or Replace



Bent/ Damaged Screens. There were several bent, missing or damaged screens noted at the windows at each of the 4 buildings. **It is recommended that all damaged or missing screens be replaced at your convenience.**

2.6 WINDOWS

Repair or Replace



(1) **NOTE:** There are a few windows in this home that have been replaced. Retrofit windows often require permitting- depending on the local authority. It is not known if this city requires permits for the installation of these windows. Due to the nature of these windows, we are not able to verify that the flashings have been done correctly. It is recommended that you check with the local authority to determine if permits are required for the installation of these windows. If permits are not required, or were not taken out, these windows should be further evaluated by a licensed contractor specializing in window installation.

2. Exterior

2.7 DOORS (Exterior)

Repair or Replace



(1) **NOTE:** Many of the exterior doors are constructed of wood. During certain weather conditions the wood may expand or contract due to moisture content. This may affect the function of these doors. It was noted that some of the doors were difficult to close and would rub at the frame or other door. This is noted for your information.

2.9 EAVES, SOFFITS AND FASCIAS

Repair or Replace



Wood Damage. There was some extensive wood damage noted at several areas of eaves and fascia of the buildings. **It is recommended that a termite report be conducted and that all reports about damaged materials be read. All damaged wood should be properly repaired or replaced as needed according to the report by a licensed contractor.**

2.11 EXTERIOR LIGHT FIXTURES AND OUTLETS

Repair or Replace



(1) **NOTE: GFCI Protection.** Although GFCI protected outlets may not have been required at all exterior locations at the time in which this house was constructed, it is recommended all exterior outlets be listed for outdoor use (with covers) and be GFCI protected. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL exterior outlets to be GFCI protected by a licensed electrician.

2.12 Screens and Vents

Repair or Replace



Improper, Missing and Additional Venting Screens Needed. The crawlspace at three of the buildings have minimal venting provided, and the current screens and access openings inhibit proper airflow to the crawlspace. It was noted that several holes have been knocked into the front of the wall of the second building to add additional venting. These openings should be properly flashed and have proper screens provided. **It is recommended that the venting of these areas be further evaluated and repaired as needed by a licensed contractor.**

3. Garage or Carport

3.0 EXTERIOR WALLS & ROOF

Repair or Replace



(2) **Exterior Wall Damage.** There is some damage to the exterior rear wall of the right (east) parking garages. The rear wall is bowing out with stucco damage and exposed paper and lathing. It appears that the structure of the wall has been damaged at this location. **Access to the interior of the garages and this location was not accessible and not able to be viewed or inspected.** The garages were locked. **It is recommended that this area be further evaluated and repaired as needed by a licensed contractor.**

3.2 GARAGE WALLS (INCLUDING FIREWALL SEPARATION)

Not Inspected, Repair or Replace



Locked Garages- Interiors Not Inspected. The garages to the units were locked and the interiors were not able to be viewed or inspected. **It is important to ensure that there are no penetrations in the fire rated walls and ceilings at these locations.** Penetrations at these locations can allow for carbon monoxide and fire to spread into the adjoining units. **It is recommended that the garaged be further evaluated and that any penetrations at these locations be repaired as needed by a licensed contractor.**

3.4 GARAGE DOOR (S)

Repair or Replace




Wood Damage. There was some wood damaged noted at the garage doors of some of the units. Some of the wood was replaced with OSB, which is not rated for exterior use without proper protection. **This is noted for your information and can be repaired at your convenience.**

4(A). Building 1 Unit A - Kitchen Components and Appliances


4.1.A CABINETRY

Repair or Replace

-  **Loose Hinges.** There was at least one loose hinge noted at one of the cabinets. It is recommended that this hardware be secured, repaired or replaced to ensure proper function of cabinet hardware.

4.7.A OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **Ungrounded Outlets with No GFCI.** There outlets in the kitchen that were not grounded and not GFCI protected. It is recommended that all outlets within 6' (six feet) of any water source be grounded OR replaced with an GFCI protected outlet by a licensed electrician.

4(B). Building 1 Unit B - Kitchen Components and Appliances


4.1.B CABINETRY

Repair or Replace

-  **Loose Hinges.** There was at least one loose hinge noted at one of the cabinets. It is recommended that this hardware be secured, repaired or replaced to ensure proper function of cabinet hardware.


4.5.B WINDOWS

Repair or Replace

-  **Dislodged Seal.** The seal at the kitchen window was dislodged and there was fogging and condensation present within the panes. This is noted for your information and can be repaired by a window specialist.

4.8.B OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4(C). Building 1 Unit C - Kitchen Components and Appliances


4.1.C CABINETRY

Repair or Replace

-  **Loose Hinges.** There was at least one loose hinge noted at one of the cabinets. It is recommended that this hardware be secured, repaired or replaced to ensure proper function of cabinet hardware.


4.8.C OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4.9.C FOOD WASTE DISPOSER

Repair or Replace

-  **Inoperative Garbage Disposer.** The Garbage disposer did not work at time of inspection. The unit did not function or make a noise when turned "ON". It is possible that the rotors were locked, It was not determined at the time of the inspection it this unit can be corrected or will need to be replaced . It is recommended that this be repaired or replaced by a licensed professional.

4(D). Building 1 Unit D - Kitchen Components and Appliances

4.8.D OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(E). Building 1 Unit E - Kitchen Components and Appliances

4.0.E COUNTERS AND SINK

Repair or Replace



Missing Screen. It was noted that the screen at the kitchen faucet was missing causing water to flow out unevenly. **It is recommended that a screen be installed by a qualified person.**

4.8.E OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(F). Building 1 Unit F - Kitchen Components and Appliances

4.8.F OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(G). Building 1 Unit G - Kitchen Components and Appliances

4.8.G OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(H). Building 1 Unit H - Kitchen Components and Appliances

4.0.H COUNTERS AND SINK


Repair or Replace

4(H). Building 1 Unit H - Kitchen Components and Appliances

 **Damaged counter top.** There are multiple areas of counter top that are worn and damaged. Severe damaged areas should be repaired replaced as needed . It is recommended that further evaluation is needed by a licensed contractor.


4.8.H OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4.11.H RANGE HOOD


Repair or Replace

 **Inoperative Hood System.** The hood fan and the light did not work at the time of the inspection. The cause of this could not be determined at the time of the inspection. It is recommended that this be further inspected or replaced by a licensed contractor.

4(I). Building 1 Unit I - Kitchen Components and Appliances

4.8.I OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4(J). Building 1 Unit J - Kitchen Components and Appliances

4.8.J OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4(K). Building 1 Unit K - Kitchen Components and Appliances

4.0.K COUNTERS AND SINK

Repair or Replace

 **Caulking Needed.** There are some areas that needed caulking at the counter backsplash. Gaps or missing grout, around this area can lead to water intrusion and moisture issues. It is recommended that the sink be properly caulked at these locations.

4.2.K FLOORS


Repair or Replace

 **Floor Damage.** There were areas of flooring that either had minor damage. This is noted for your information.

4.8.K OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

4(K). Building 1 Unit K - Kitchen Components and Appliances

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.10.K FOOD WASTE DISPOSER


Repair or Replace

-  **Inoperative Garbage Disposer.** The Garbage disposer did not work at time of inspection. The unit did not function or make a noise when turned "ON". It is possible that the rotors were locked, It was not determined at the time of the inspection if this unit can be corrected or will need to be replaced . **It is recommended that this be repaired or replaced by a licensed professional.**

4(L). Building 1 Unit L - Kitchen Components and Appliances


4.8.L OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.11.L RANGE HOOD


Repair or Replace

-  **Inoperative Vent Fan.** The hood did not work at the time of the inspection. The cause of this could not be determined at the time of the inspection. **It is recommended that this be further inspected or replaced by a licensed contractor.**

4(M). Building 1 Unit M - Kitchen Components and Appliances

4.8.M OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(N). Building 1 Unit N - Kitchen Components and Appliances

4.8.N OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(O). Building 2 Unit L - Kitchen Components and Appliances

4.8.O OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**
-

4(P). Building 2 Unit M - Kitchen Components and Appliances

4.8.P OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**
-

4(Q). Building 2 Unit N - Kitchen Components and Appliances


4.3.Q WALLS

Repair or Replace

-  **Growth on walls.** There were walls in the kitchen that where growth was noted. **It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.**

4.8.Q OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**
-

4(R). Building 2 Unit O - Kitchen Components and Appliances


4.7.R PLUMBING DRAIN AND VENT SYSTEMS

Repair or Replace

-  **Leak Under Sink.** The waste line is leaking at the underside of the kitchen sink. **It is recommended that a qualified, licensed, plumber be called out to repair or correct as needed.**

4.8.R OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(S). Building 2 Unit P - Kitchen Components and Appliances


4.2.S FLOORS

Repair or Replace

-  **Cracked Tiles.** There was at least one tile that was cracked at the floor tile in the kitchen. This is noted for your information and can be repaired at your convenience if so desired.


4.5.S WINDOWS

Repair or Replace

-  **Cracked Window.** There was a cracked in the window at the kitchen. It is recommended, for safety purposes, that this window be repaired or replaced by a qualified professional.

4.8.S OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4(T). Building 2 Unit Q - Kitchen Components and Appliances


4.8.T OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.

4.10.T FOOD WASTE DISPOSER



Repair or Replace

-  **Inoperative Garbage Disposer.** The Garbage disposer did not work at time of inspection. The unit did not function or make a noise when turned "ON". It is possible that the rotors were locked, It was not determined at the time of the inspection if this unit can be corrected or will need to be replaced . It is recommended that this be repaired or replaced by a licensed professional.

4(U). Building 2 Unit R - Kitchen Components and Appliances


4.0.U COUNTERS AND SINK

Repair or Replace

-  (1) **Caulking Needed.** There are some areas where caulking is needed at the counter backsplash. Gaps or missing grout, around this area can lead to water intrusion and moisture issues. It is recommended that the sink be properly caulked at these locations.
-  (2) **Growth under sink.** There was growth under the kitchen sink noted. It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.

4.2.U FLOORS


Repair or Replace

-  **Loose Tiles.** There were several loose tiles in the kitchen. This is noted for your information and can be repaired at your convenience if so desired.

4.8.U OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace


4(U). Building 2 Unit R - Kitchen Components and Appliances

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(V). Building 2 Unit S - Kitchen Components and Appliances

4.8.V OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(W). Building 2 Unit T - Kitchen Components and Appliances

4.8.W OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(X). Building 2 Unit U - Kitchen Components and Appliances

4.8.X OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(Y). Building 2 Unit V - Kitchen Components and Appliances

4.8.Y OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(Z). Building 2 Unit W - Kitchen Components and Appliances

4.8.Z OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(AA). Building 2 Unit X - Kitchen Components and Appliances


4.2.AA FLOORS

Repair or Replace

-  **Linoleum Damage.** The linoleum flooring in the kitchen is worn and has some minor damage. **It is recommended that this flooring be repaired or replaced at your convenience.**


4.7.AA PLUMBING DRAIN AND VENT SYSTEMS

Repair or Replace

-  **Leak Under Sink.** The waste line is leaking at the underside of the kitchen sink. **It is recommended that a qualified, licensed, plumber be called out to repair or correct as needed.**

4.8.AA OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(BB). Building 2 Unit Y - Kitchen Components and Appliances


4.8.BB OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**


4.10.BB FOOD WASTE DISPOSER

Repair or Replace

-  **Inoperative Garbage Disposer.** The Garbage disposer did not work at time of inspection. The unit did not function or make a noise when turned "ON". It is possible that the rotors were locked, It was not determined at the time of the inspection if this unit can be corrected or will need to be replaced . **It is recommended that this be repaired or replaced by a licensed professional.**

4.11.BB RANGE HOOD

Repair or Replace

-  **Inoperative Vent Fan.** The hood did not work at the time of the inspection. The cause of this could not be determined at the time of the inspection. **It is recommended that this be further inspected or replaced by a licensed contractor.**

4.13.BB Other

Repair or Replace


4(BB). Building 2 Unit Y - Kitchen Components and Appliances

-  **Water Damage to Cabinet.** The cabinet in the kitchen has water damage at the underside of the sink. This cabinet is made of particle board which swells and warps when damaged. Once this material has had water damage it loses its strength, and warps. **It is recommended that this vanity be replaced to limit the possibility of mold.**

4(CC). Building 2 Unit Z - Kitchen Components and Appliances


4.8.CC OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4.11.CC RANGE HOOD

Repair or Replace

-  **Inoperative Vent Fan.** The hood did not work at the time of the inspection. The cause of this could not be determined at the time of the inspection. **It is recommended that this be further inspected or replaced by a licensed contractor.**

4.13.CC Other


Repair or Replace

-  **Active Leak.** It appears that there may be a leak under the refrigerator. Pooling water was noted. **It is advised that this be further evaluated by an appliance repair person.**

4(EE). Building 3 Unit K - Kitchen Components and Appliances

4.8.EE OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(FF). Building 4 Unit A - Kitchen Components and Appliances

4.8.FF OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace


-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(GG). Building 4 Unit B - Kitchen Components and Appliances

4.8.GG OUTLETS WALL SWITCHES and FIXTURES

Repair or Replace


4(GG). Building 4 Unit B - Kitchen Components and Appliances

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**
-

4(HH). Building 4 Unit C - Kitchen Components and Appliances

4.8.HH OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**
-

4(II). Building 4 Unit D - Kitchen Components and Appliances

4.0.II COUNTERS AND SINK


Repair or Replace

-  **Discoloration of Caulking.** There was some discoloration of the grout at the counter/ sink connection. This discoloration occurs when water had penetrated the grout at this location. **It is recommended that this area be cleaned with a bleach solution and that this area be re-caulked or grouted.**
-

4(JJ). Building 4 Unit E - Kitchen Components and Appliances


4.1.JJ CABINetry

Repair or Replace

-  **Missing Cabinet Doors.** It was noted that a few kitchen cabinets were missing doors. **This is noted for your information.**

4.8.JJ OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**
-

4(KK). Building 4 Unit F - Kitchen Components and Appliances

4.8.KK OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**
-

4(MM). Building 4 Unit H - Kitchen Components and Appliances


4.0.MM COUNTERS AND SINK

Repair or Replace

-  **Caulking Needed.** There are some areas that need some Caulk / grout at the counter backsplash. Gaps or missing grout, around this area can lead to water intrusion and moisture issues. **It is recommended that the sink be properly caulked at these locations.**

4.8.MM OUTLETS WALL SWITCHES and FIXTURES


Repair or Replace

-  (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

4(NN). Building 4 Unit I - Kitchen Components and Appliances

4.8.NN OUTLETS WALL SWITCHES and FIXTURES





Repair or Replace

-  (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the kitchen. It is recommended all kitchen outlets, serving counters, be GFCI protected or on a GFCI protected circuit. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend ALL kitchen outlets, serving counter tops, should be GFCI protected.**

5(A). Building 1 Unit A - Interior Rooms



5.1.A WALLS

Repair or Replace

-  (1) **NOTE:** Because the unit was occupied at the time of inspection there are many areas that cannot be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .
-  (2) **Wall Damage.** There was some minor damage to the drywall noted in the bedroom. **It is recommended that this area be patched at your convenience.**
-  (3) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.
-  (4) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.A FLOORS




Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.
-  (2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.4.A WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace


5(A). Building 1 Unit A - Interior Rooms

-  (1) **Water Damage at Sill.** There was some water damage noted on the window sill in the bedrooms. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain . It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.
-  (2) **Mildew at Window Frames.** There was mildew at the frames of the bedroom windows. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frames. It is recommended that these areas be cleaned with a bleach/water solution.
-  (3) **Inoperative Window Locks.** The window locks for the windows in the bedrooms did not function. For safety purposes it is recommended that the windows be supplied with some sort of locking device.

5(B). Building 1 Unit B - Interior Rooms



5.1.B WALLS

Repair or Replace

-  (1) **NOTE:** Because the unit was occupied at the time of inspection there are many areas that cannot be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no damage .



5.2.B FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.
-  (2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.


5.4.B WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Mildew at Window Frame.** There was mildew at the frame of the kitchen window. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frame and there is no growth or damage at the sills. It is recommended that these areas be cleaned with a bleach/water solution.
-  (2) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

5.6.B OTHER

Not Present, Repair or Replace


-  **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.


5(C). Building 1 Unit C - Interior Rooms

5.1.C WALLS

Repair or Replace


5(C). Building 1 Unit C - Interior Rooms

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**


5.2.C FLOORS

Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.C WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

 **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.6.C OTHER


Not Present, Repair or Replace


 **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(D). Building 1 Unit D - Interior Rooms

5.1.D WALLS


Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**


5.2.D FLOORS

Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.D WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

 (1) **Water Damage at Sill.** There was some water damage noted on the window sill in the living room window. It could not be determined at time of inspection if this damaged occurred to a leak caused by a faulty window system, or by the window being left open during a rain. **It is recommended that this be further inspected and that all water damaged materials be repaired or replaced by a licensed contractor to help ensure against the possibility of growth and further damage.**

5.5.D OUTLETS SWITCHES AND FIXTURES

Repair or Replace

 (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No

5(D). Building 1 Unit D - Interior Rooms

Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

- 🏠 (2) **Missing cover/Improper wiring**. It was noted that a light switch did not have a cover and was improperly wired. It is recommended that this switch be properly wired by a licensed electrician.

5.6.D OTHER

Repair or Replace

- 🏠 **NOTE:** The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Smoke detectors. Smoke detectors are recommended in the following locations: In **each bedroom, at each floor level and at a point centrally located** in the **hallway** (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

5(E). Building 1 Unit E - Interior Rooms

5.1.E WALLS

Repair or Replace

- 🏠 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.
- 🏠 (2) **Discoloration at Wall**. There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. This is noted for your information only.

5.2.E FLOORS

Repair or Replace

- 🏠 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

5.4.E WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace


- 🏠 **Inoperative Window Locks**. The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5(F). Building 1 Unit F - Interior Rooms

5.1.F WALLS

Repair or Replace


5(F). Building 1 Unit F - Interior Rooms

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**


5.2.F FLOORS

Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.F WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.F OUTLETS SWITCHES AND FIXTURES

Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.F OTHER

Not Present, Repair or Replace

 **NOTE:** The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.


No Smoke detectors. Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**


No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(G). Building 1 Unit G - Interior Rooms

5.1.G WALLS

Repair or Replace



 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5(G). Building 1 Unit G - Interior Rooms


5.2.G FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.
-  (2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**


5.4.G WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.G OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.G OTHER

Not Present, Repair or Replace

-  **NOTE:** The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.



No Smoke detectors. Smoke detectors are recommended in the following locations: In **each bedroom, at each floor level and at a point centrally located** in the **hallway** (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(H). Building 1 Unit H - Interior Rooms

5.1.H WALLS


Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.
-  (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.H FLOORS


Repair or Replace

5(H). Building 1 Unit H - Interior Rooms

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.H WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.H OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.H OTHER


Not Present, Repair or Replace

-  **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

5(I). Building 1 Unit I - Interior Rooms


5.1.I WALLS

Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


5.2.I FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.I WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

5.5.I OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.7.I OTHER

Repair or Replace

5(I). Building 1 Unit I - Interior Rooms

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.


NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

5(J). Building 1 Unit J - Interior Rooms


5.1.J WALLS

Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


5.2.J FLOORS

Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.J WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

 (1) **Cracked/ Damaged Window.** The window in the living room was cracked. It is recommended for safety purposes that this be repaired or replaced by a licensed contractor or window professional.


5.5.J OUTLETS SWITCHES AND FIXTURES

Repair or Replace

 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.J OTHER

Repair or Replace

 **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

5(J). Building 1 Unit J - Interior Rooms

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(K). Building 1 Unit K - Interior Rooms

5.1.K WALLS

Repair or Replace



(1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

5.2.K FLOORS

Repair or Replace



(1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

5.4.K WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace



(1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.K OUTLETS SWITCHES AND FIXTURES

Repair or Replace



FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.K OTHER

Repair or Replace



No Smoke detectors. Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.


No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(L). Building 1 Unit L - Interior Rooms

5.2.L FLOORS


5(L). Building 1 Unit L - Interior Rooms

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.L WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.L OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.L OTHER

Repair or Replace

-  **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.


NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

5(M). Building 1 Unit M - Interior Rooms


5.1.M WALLS

Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


5.2.M FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

5.4.M WINDOWS (REPRESENTATIVE NUMBER)


Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

5(M). Building 1 Unit M - Interior Rooms


5.5.M OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.M OTHER

Repair or Replace

-  **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.


NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

5(N). Building 1 Unit N - Interior Rooms


5.0.N CEILINGS

Repair or Replace

-  **Ceiling Water Stain.** There was some water staining noted on the ceilings of the hall. It appears that there have been a roof leaks at these locations at one time. **It could not be determined if these leaks have been properly repaired.** There did not appear to be any signs indicating that there is an active leak. It is recommended that you ask the current owner about these stains and that a roofing contractor be hired to further evaluate these areas if needed.


5.1.N WALLS

Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


5.2.N FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

5.3.N DOORS (REPRESENTATIVE NUMBER)


Repair or Replace

-  (1) **Broken Glass in Door.** The glass in the door in the living room was broken. Due to the safety hazard of this, it is recommended that the door or the glass be replaced by a licensed contractor or qualified professional.

5(N). Building 1 Unit N - Interior Rooms


5.4.N WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.N OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.N OTHER


Repair or Replace

-  **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

5(O). Building 2 Unit L - Interior Rooms


5.1.O WALLS

Repair or Replace

-  (1) **Wall Damage.** There was some minor damage to the drywall noted in the unit. It is recommended that this area be patched at your convenience.


5.2.O FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.O WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.O OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.O OTHER

Repair or Replace

-  **No Smoke detectors. Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.


5(O). Building 2 Unit L - Interior Rooms

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

5(P). Building 2 Unit M - Interior Rooms


5.0.P CEILINGS

Repair or Replace

-  **Ceiling Water Stain.** There was some water staining noted on the ceilings of the hall. It appears that there have been a leak at this locations at one time. **It could not be determined if the leak has been properly repaired.** There did not appear to be any signs indicating that there is an active leak. **It is recommended that you ask the current owner about these stains and that a roofing contractor be hired to further evaluate these areas if needed.**


5.1.P WALLS

Repair or Replace

-  (1) **NOTE:** There were some areas of patchwork noted at some of the walls. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.


5.2.P FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.



5.4.P WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.P OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**
-  (2) **Missing Outlet Cover.** There was a missing cover in the dining room. Missing faceplates expose electrical parts of receptacle outlets, and switches creating a potential shock hazard. **For safety reasons all outlets and switches should have secure covers to reduce the chance of electric shock.**

5.6.P OTHER

Repair or Replace

-  **No Smoke detectors.** **Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**


5(P). Building 2 Unit M - Interior Rooms


NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

5(Q). Building 2 Unit N - Interior Rooms

5.1.Q WALLS


Repair or Replace

 (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

 (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**


5.2.Q FLOORS

Repair or Replace

 (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.3.Q DOORS (REPRESENTATIVE NUMBER)

Repair or Replace

 **Inoperative Lock at Slider.** The lock on the slider located in the dining room did not properly function and did not lock. It appears the at the alignment of the hardware is a bit off and does not allow the latching mechanism to connect. **It is recommended that this hardware is adjusted or replaced to allow the lock to properly engage and lock.**


5.4.Q WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

 (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.Q OUTLETS SWITCHES AND FIXTURES

Repair or Replace


 **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5(R). Building 2 Unit O - Interior Rooms

5.1.R WALLS


Repair or Replace

5(R). Building 2 Unit O - Interior Rooms

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


5.2.R FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.



5.4.R WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.R OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**
-  (2) **Loose Light Switch.** There was a loose switch at the wall connection. Loose switches can pull the wires from the back of the receptacle causing the wires to arch or cause electric shock. **For safety reasons it is recommended that these outlets be properly secured.**

5.6.R OTHER

Repair or Replace

-  **No Smoke detectors. Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**


NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(S). Building 2 Unit P - Interior Rooms

5.1.S WALLS


Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

5(S). Building 2 Unit P - Interior Rooms


5.2.S FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.S WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.S OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.S OTHER

Repair or Replace

-  **No Smoke detectors. Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**


NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(T). Building 2 Unit Q - Interior Rooms


5.1.T WALLS

Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

5.2.T FLOORS


Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

5(T). Building 2 Unit Q - Interior Rooms


5.4.T WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.T OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.T OTHER

Repair or Replace


-  **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

5(U). Building 2 Unit R - Interior Rooms


5.1.U WALLS

Repair or Replace

-  (1) **Growth on walls.** There were walls in the bedroom where growth was noted. It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.



5.2.U FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.3.U DOORS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Adjust Strike Plate.** There front door did do not latch shut properly. The strike plate for the door is not adjusted properly and does not allow the door to latch shut. It is recommend that the door be adjusted to allow the it to properly shut.
-  (2) **Slider Sticks.** The slider in the dinning room sticks making it difficult to operate. This is noted for your information and it is not known if corrections can be made to improve the sliding ability of these doors.

5.4.U WINDOWS (REPRESENTATIVE NUMBER)


Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

5.6.U OTHER

Repair or Replace


5(U). Building 2 Unit R - Interior Rooms

-  **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(V). Building 2 Unit S - Interior Rooms


5.0.V CEILINGS

Repair or Replace

-  **Ceiling Water Stain.** There was some water staining noted on the ceilings of the bedroom. It appears that there have been a leaks at these locations at one time. **It could not be determined if these leaks have been properly repaired.** There did not appear to be any signs indicating that there is an active leak. **It is recommended that you ask the current owner about these stains and that a roofing contractor be hired to further evaluate these areas if needed.**


5.1.V WALLS

Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.



5.2.V FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.3.V DOORS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Slider Sticks.** The slider in the dining room sticks making it difficult to operate. **This is noted for your information and it is not known if corrections can be made to improve the sliding ability of these doors.**
-  (2) **Loose Glass at Slider.** It was noted that the glass on the sliding glass door in the dining room was pulled away from the frame. **It is recommended that this be further evaluated by a licensed contractor and repaired where needed.**


5.4.V WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.V OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.V OTHER

Repair or Replace

-  **No Smoke detectors. Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

5(V). Building 2 Unit S - Interior Rooms

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(W). Building 2 Unit T - Interior Rooms

5.1.W WALLS

Repair or Replace



(1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

5.2.W FLOORS

Repair or Replace



(1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.



(2) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

5.3.W DOORS (REPRESENTATIVE NUMBER)

Repair or Replace



Loose Handle. The handle for the bedroom door is loose and should be tightened to ensure proper working order. **It is recommended that this item is repaired or replaced as needed.**

5.4.W WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace



Inoperative Window Locks. The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.W OUTLETS SWITCHES AND FIXTURES

Repair or Replace




(1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.W OTHER

Repair or Replace


5(W). Building 2 Unit T - Interior Rooms


-  **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(X). Building 2 Unit U - Interior Rooms

5.1.X WALLS


Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.

-  (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**


5.2.X FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.X WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.6.X OTHER


Repair or Replace

-  **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(Y). Building 2 Unit V - Interior Rooms


5.1.Y WALLS

Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


5.2.Y FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

5.4.Y WINDOWS (REPRESENTATIVE NUMBER)


Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.Y OUTLETS SWITCHES AND FIXTURES


Repair or Replace

5(Y). Building 2 Unit V - Interior Rooms

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.Y OTHER

Repair or Replace

-  **No Smoke detectors.** Smoke detectors are recommended in the following locations: In **each bedroom, at each floor level and at a point centrally located** in the **hallway** (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**


NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(Z). Building 2 Unit W - Interior Rooms


5.1.Z WALLS

Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


5.2.Z FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.Z WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.Z OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5(Z). Building 2 Unit W - Interior Rooms

5.6.Z OTHER

Repair or Replace


-  **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

5(AA). Building 2 Unit X - Interior Rooms


5.1.AA WALLS

Repair or Replace

-  (1) **Wall Damage.** There was some minor damage to the drywall noted in the living room. It is recommended that this area be patched at your convenience.


5.2.AA FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.AA WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.AA OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.AA OTHER

Repair or Replace

-  **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This

5(AA). Building 2 Unit X - Interior Rooms

can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

5(BB). Building 2 Unit Y - Interior Rooms

5.1.BB WALLS

Repair or Replace



(1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.



(2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.BB FLOORS

Repair or Replace



(1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

5.4.BB WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace



(1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.BB OUTLETS SWITCHES AND FIXTURES

Repair or Replace



FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.BB OTHER

Repair or Replace



No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(CC). Building 2 Unit Z - Interior Rooms

5.1.CC WALLS

Repair or Replace




(1) **Wall Damage.** There was some minor damage to the drywall noted in the bedroom. **It is recommended that this area be patched at your convenience.**

5.2.CC FLOORS


Repair or Replace

5(CC). Building 2 Unit Z - Interior Rooms

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.CC WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.CC OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.CC OTHER


Repair or Replace

-  **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. A carbon monoxide detector is recommended for safety purposes.

5(EE). Building 3 Unit K - Interior Rooms


5.1.EE WALLS

Repair or Replace

-  (1) **Wall Damage.** There was some minor damage to the drywall noted in the bedroom. It is recommended that this area be patched at your convenience.


5.2.EE FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.



5.4.EE WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

5.5.EE OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**
-  (2) **Loose Outlet.** There were loose outlets at the wall connections in the unit. Loose outlets can pull the wires from the back of the receptacle causing the wires to arch or cause electric shock. For safety reasons it is recommended that these outlets be properly secured.

5.6.EE OTHER

5(EE). Building 3 Unit K - Interior Rooms

Repair or Replace



No Smoke detectors. Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

5(FF). Building 4 Unit A - Interior Rooms

5.2.FF FLOORS

Repair or Replace



(1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

5.4.FF WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace



Inoperative Window Locks. The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.

5.5.FF OUTLETS SWITCHES AND FIXTURES

Repair or Replace



FYI: Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.FF OTHER

Repair or Replace




No Smoke detectors. Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

5(GG). Building 4 Unit B - Interior Rooms


5.1.GG WALLS

Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


5.2.GG FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.GG WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.GG OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5(HH). Building 4 Unit C - Interior Rooms


5.1.HH WALLS

Repair or Replace

-  (2) **Growth at Walls.** The walls in the dining area had growth. **It is recommended that this area be further evaluated and properly repaired by a licensed contractor specializing in mildew and mold.**


5.2.HH FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.HH WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**

5.5.HH OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**

5.6.HH STAIRWAY

Repair or Replace


5(HH). Building 4 Unit C - Interior Rooms

-  (1) **Loose Hand Rails.** Stairs are one of the most frequent location of injury accidents in the home. It is required that all stairs with 4 or more risers have a hand rail with a minimum height requirement of 34 inches. In this application the hand rail was loose or had missing hardware. **For safety purposes it is recommended that this area have properly secured railings to ensure working order.**

5(II). Building 4 Unit D - Interior Rooms


5.1.II WALLS

Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.


5.2.II FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.3.II DOORS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Slider Sticks.** The slider in the dining room sticks making it difficult to operate. **This is noted for your information and it is not known if corrections can be made to improve the sliding ability of these doors.**



5.4.II WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.II OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  (1) **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**
-  (2) **Inoperative Outlets.** There were outlets in the unit that did not work at time of inspection. **There was no power at this outlet. It is recommended that this be further evaluated by a licensed electrician.**

5.6.II STAIRWAY

Repair or Replace


-  (1) **Loose Hand Rails.** Stairs are one of the most frequent location of injury accidents in the home. It is required that all stairs with 4 or more risers have a hand rail with a minimum height requirement of 34 inches. In this application the hand rail was loose or had missing hardware. **For safety purposes it is recommended that this area have properly secured railings to ensure working order.**

5(JJ). Building 4 Unit E - Interior Rooms

5.1.JJ WALLS


Repair or Replace

5(JJ). Building 4 Unit E - Interior Rooms

-  (1) **NOTE:** There were some areas of patchwork noted at some of the walls. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.


5.2.JJ FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.3.JJ DOORS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Door Damage.** There was some minor damage to the door of the living room . This currently does not affect the function of the door. **This is noted for your information and can be repaired at your convenience.**


5.4.JJ WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  (1) **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.JJ OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**


5.6.JJ STAIRWAY

Repair or Replace

-  (1) **Loose Hand Rails.** Stairs are one of the most frequent location of injury accidents in the home. It is required that all stairs with 4 or more risers have a hand rail with a minimum height requirement of 34 inches. In this application the hand rail was loose or had missing hardware. **For safety purposes it is recommended that this area have properly secured railings to ensure working order.**

5.7.JJ OTHER

Repair or Replace

-  **No Smoke detectors. Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**


NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(KK). Building 4 Unit F - Interior Rooms


5.1.KK WALLS

Repair or Replace

-  (1) **Wall Damage.** There was some minor damage to the drywall noted in the living room. **It is recommended that this area be patched at your convenience.**


5.2.KK FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.KK WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.KK OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information . It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**


5.6.KK STAIRWAY

Repair or Replace

-  (1) **Loose Hand Rails.** Stairs are one of the most frequent location of injury accidents in the home. It is required that all stairs with 4 or more risers have a hand rail with a minimum height requirement of 34 inches. In this application the hand rail was loose or had missing hardware. **For safety purposes it is recommended that this area have properly secured railings to ensure working order.**

5.7.KK OTHER

Repair or Replace

-  **No Smoke detectors. Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). **It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**


NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

No Carbon Monoxide Tester. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(MM). Building 4 Unit H - Interior Rooms


5.1.MM WALLS

Repair or Replace

-  (2) **Wall Damage.** There was some minor damage to the drywall noted in the living room. **It is recommended that this area be patched at your convenience.**


5.2.MM FLOORS

Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.


5.4.MM WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. **For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.**


5.5.MM OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED.**


5.6.MM STAIRWAY

Repair or Replace

-  (1) **Loose Hand Rails.** Stairs are one of the most frequent location of injury accidents in the home. It is required that all stairs with 4 or more risers have a hand rail with a minimum height requirement of 34 inches. In this application the hand rail was loose or had missing hardware. **For safety purposes it is recommended that this area have properly secured railings to ensure working order.**

5.7.MM OTHER



Repair or Replace

-  **No Carbon Monoxide Tester.** Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. This is a safety precaution (like a smoke alarm) which makes an audible warning to alert you if particles are detected. **A carbon monoxide detector is recommended for safety purposes.**

5(NN). Building 4 Unit I - Interior Rooms


5.1.NN WALLS

Repair or Replace

-  (1) **NOTE:** There are some common nicks, dings and scratches in the walls of this unit. These are common occurrences and can be touched up with paint or patched at your convenience. We do not make note of minor dings and paint blemishes in the walls. This is noted for your information.
-  (2) **Discoloration at Wall.** There was some discoloration at the walls in the unit. The cause of this discoloration could not be determined. It did not appear that there were any problems at these areas. **This is noted for your information only.**

5.2.NN FLOORS


Repair or Replace

-  (1) **NOTE:** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

5(NN). Building 4 Unit I - Interior Rooms


5.4.NN WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Inoperative Window Locks.** The window locks for the windows in the unit did not function. For safety purposes it is recommended that this window be adjusted, repaired or supplied with some sort of locking device.


5.5.NN OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **FYI:** Due to the year in which this building was built; there is no grounding for much of the electrical system. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. It is important to know and understand that the two pronged outlets have not been upgraded and are **NOT GROUNDED**.

5.6.NN OTHER

Repair or Replace


-  **No Smoke detectors.** Smoke detectors are recommended in the following locations: In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

6(A). Building 1 Unit A - Bathrooms and Components


6.1.A FLOORS

Repair or Replace

-  **Soft Area of Flooring.** The floor around the base of the tub was soft. It is possible that there is damage to the sub-floor at this location. It is recommended that this be further evaluated and repaired if needed by a licensed contractor.


6.4.A WINDOWS/ MIRRORS

Repair or Replace

-  **Mildew at Window Frame.** There was mildew at the frames of the bathroom window. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frames. It is recommended that these areas be cleaned with a bleach/water solution.

6.8.A OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **Inoperative Outlet.** There was an outlet in storage room in the bathroom that did not work at time of inspection. There was no power at this outlet. It is recommended that this be further evaluated by a licensed electrician.

6.10.A COUNTER/SINKS


Repair or Replace

6(A). Building 1 Unit A - Bathrooms and Components

 **Water Damage to Vanity.** The vanity in the bathroom has water damage at the side. This cabinet is made of particle board which swells and warps when damaged. Once this material has had water damage it loses its strength, and warps. **It is recommended that this vanity be replaced to limit the possibility of mold.**

6.11.A SHOWER/TUB ENCLOSURE


Repair or Replace

 **Discoloration Noted.** There is some discoloration of the caulking on the side of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**

6(B). Building 1 Unit B - Bathrooms and Components


6.2.B WALLS

Repair or Replace

 **Growth on walls.** There were walls in the bathroom that where growth was noted. **It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.**


6.3.B CEILINGS

Repair or Replace

 **Growth Noted at Ceiling.** There was staining on the ceiling above the shower indicating signs of growth on the exterior surface. It appears that there has been a lot of moisture in this bathroom and growth has begun to grow on the surface of the walls and ceiling. **It is recommended that these surfaces have the paint removed, be cleaned with bleach and water solution. Efforts should also be made to limit the amount of moisture in this area. This can be done by showering with window and/or door open.**


6.4.B WINDOWS/ MIRRORS

Repair or Replace

 **Mildew at Window Frame.** There was mildew at the frames of the bathroom window. This is common for aluminum windows. Due to the differing temperatures between the interior and exterior of the unit, the windows will often condensate. This moisture, along with dust particles often produced a mildew type growth at the window frames. This is only observed at the frames. **It is recommended that these areas be cleaned with a bleach/water solution.**


6.8.B OUTLETS SWITCHES AND FIXTURES

Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathroom. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.B SHOWER/TUB ENCLOSURE

Repair or Replace


 **Discoloration Noted.** There is some discoloration of the caulking on the side of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**

6(C). Building 1 Unit C - Bathrooms and Components

6.3.C CEILINGS


Repair or Replace

6(C). Building 1 Unit C - Bathrooms and Components

-  **Ceiling Water Stain.** There was some water staining noted on the ceilings of the bathroom. It appears that there have been leaks at these locations at one time. **It could not be determined if these leaks have been properly repaired.** There did not appear to be any signs indicating that there is an active leak. **It is recommended that you ask the current owner about these stains and that a roofing contractor be hired to further evaluate these areas if needed.**

6.8.C OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(D). Building 1 Unit D - Bathrooms and Components


6.1.D FLOORS

Repair or Replace

-  **Loose Tiles.** There were loose tiles noted at the floor of the bathroom. The cause of this was not able to be determined. **This is noted for your information and can be repaired at your convenience.**


6.3.D CEILINGS

Repair or Replace

-  **Bubbling of Paint at Ceiling.** There was a location in the bathroom where there was a raised "bubble type formation" at the ceiling. These often occur when leaks are present and water has pooled under the paint layer causing these formations. **It is possible that there was a leaks at this location.** It could not be determined at the time of inspection, if there were active leaks at this location . **It is recommended that a licensed contractor be called out for further analysis ad repair as needed.**

6.8.D OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(E). Building 1 Unit E - Bathrooms and Components


6.3.E CEILINGS

Repair or Replace

-  **NOTE:** There were some areas of patchwork noted at the ceiling of this bathroom. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.

6.8.E OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.E SHOWER/TUB ENCLOSURE

Repair or Replace


6(E). Building 1 Unit E - Bathrooms and Components

-  **Discoloration Noted.** There was some discoloration of the caulking on the inside of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**

6(F). Building 1 Unit F - Bathrooms and Components


6.0.F DOORS (REPRESENTATIVE NUMBER)

Repair or Replace

-  **Door Rubs- Difficult to Open.** The door to the hall bathroom rubs on the floor when opening/closing. This makes it difficult to properly open and close this door. **It is recommended that adjustments be made to allow this door to properly function.**


6.3.F CEILINGS

Repair or Replace

-  **NOTE:** There were some areas of patchwork noted at the ceiling of this bathroom. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.

6.8.F OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(G). Building 1 Unit G - Bathrooms and Components


6.4.G WINDOWS/ MIRRORS

Repair or Replace

-  **Cracked Window Pane.** The window pane in this bathroom was cracked. **It is recommended for safety purposes that this window be replaced by a licensed contractor.**

6.8.G OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(H). Building 1 Unit H - Bathrooms and Components

6.8.H OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(I). Building 1 Unit I - Bathrooms and Components


6.2.I WALLS

Repair or Replace

 **NOTE:** There was some patching noted to the walls of this bathroom. This is noted for your information.

6.8.I OUTLETS SWITCHES AND FIXTURES


Repair or Replace

 (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(J). Building 1 Unit J - Bathrooms and Components

6.8.J OUTLETS SWITCHES AND FIXTURES


Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(K). Building 1 Unit K - Bathrooms and Components


6.8.K OUTLETS SWITCHES AND FIXTURES

Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.K SHOWER/TUB ENCLOSURE


Repair or Replace

 **Discoloration Noted.** There is some discoloration of the caulking on the inside of the tub. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**

6(L). Building 1 Unit L - Bathrooms and Components

6.8.L OUTLETS SWITCHES AND FIXTURES

Repair or Replace


 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(M). Building 1 Unit M - Bathrooms and Components

6.8.M OUTLETS SWITCHES AND FIXTURES


Repair or Replace

6(M). Building 1 Unit M - Bathrooms and Components

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.M SHOWER/TUB ENCLOSURE


Repair or Replace

 **Discoloration Noted.** There is some discoloration of the caulking on the inside of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**

6(N). Building 1 Unit N - Bathrooms and Components

6.8.N OUTLETS SWITCHES AND FIXTURES


Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(O). Building 2 Unit L - Bathrooms and Components


6.0.O DOORS (REPRESENTATIVE NUMBER)

Repair or Replace

 **Door Damage.** There was some minor damage to the door noted at the bathroom. **It is recommended that this area be patched at your convenience.**

6.1.O FLOORS


Repair or Replace

 **Discoloration of Linoleum .** There was some discoloration of the linoleum in this bathroom. **This is noted for your information and can be repaired at your convenience.**

Soft Area of Flooring. The floor around the base of the toilet was soft. It is possible that there is damage to the sub-floor at this location. **It is recommended that this be further evaluated and repaired if needed by a licensed contractor.**


6.2.O WALLS

Repair or Replace

 **Wall Damage.** There was some minor damage to the drywall noted in the bathroom. **It is recommended that this area be patched at your convenience.**

6.9.O OUTLETS SWITCHES AND FIXTURES


Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.11.O SHOWER/TUB ENCLOSURE

Repair or Replace


6(O). Building 2 Unit L - Bathrooms and Components

-  **Missing backing at shower/bath handle.** It was noted that the shower/bath handle did not have backing to properly prevent water from entering the space behind the tub enclosure. Water penetration in to this area could result in water damage to the wall. **It is recommended that a licensed contractor install a proper handle with proper backing.**

6(P). Building 2 Unit M - Bathrooms and Components


6.2.P WALLS

Repair or Replace

-  **Growth on walls.** There were walls in the bathroom where growth was noted. **It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.**


6.4.P WINDOWS/ MIRRORS

Repair or Replace

-  **Cracked Window Pane.** The window pane in this bathroom was cracked. **It is recommended for safety purposes that this window be replaced by a licensed contractor.**

6.9.P OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(Q). Building 2 Unit N - Bathrooms and Components

6.8.Q OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(R). Building 2 Unit O - Bathrooms and Components


6.2.R WALLS

Repair or Replace

-  **NOTE:** There was some patching noted to the walls of this bathroom. This is noted for your information.


6.9.R OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.R COUNTER/SINKS



Repair or Replace

-  **Caulking Needed.** There was an area around the sink/ counter connection that are in need of some caulking. **It is recommended that this area be properly caulked by a qualified professional.**

6.11.R SHOWER/TUB ENCLOSURE

Repair or Replace


6(R). Building 2 Unit O - Bathrooms and Components

-  (1) **Loose shower wall lining.** The shower wall lining was not properly sealed. **It is recommended that the lining be resealed to prevent water penetration into the wall.**
-  (2) **Missing backing at shower/bath handle.** It was noted that the shower/bath handle did not have backing to properly prevent water from entering the space behind the tub enclosure. Water penetration in to this area could result in water damage to the wall. **It is recommended that a licensed contractor install a proper handle with proper backing.**

6(S). Building 2 Unit P - Bathrooms and Components


6.2.S WALLS

Repair or Replace

-  **NOTE:** There was some patching noted to the walls of this bathroom. This is noted for your information.


6.3.S CEILINGS

Repair or Replace

-  **NOTE:** There were some areas of patchwork noted at the ceiling of this bathroom. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.


6.7.S TOILET FIXTURE

Repair or Replace

-  **Loose Toilet.** The toilet fixture in this bathroom is loose at the floor. This could cause the wax ring to become dislodged and your toilet to leak water onto the floor. **It is recommended that this toilet have the wax ring replaced and the toilet secured to the floor (to ensure a proper seal), and caulking be applied to the base of the toilet. (WARNING) Over tightening will cause the porcelain to crack and the need for replacement of the toilet.**

6.8.S OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(T). Building 2 Unit Q - Bathrooms and Components

6.8.T OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(U). Building 2 Unit R - Bathrooms and Components

6.9.U OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  (1) **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(V). Building 2 Unit S - Bathrooms and Components

6.8.V OUTLETS SWITCHES AND FIXTURES

Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.V SHOWER/TUB ENCLOSURE

Repair or Replace



NOTE: There appears to be some patching noted at the tub enclosure. It is recommended that you ask the current owner about this area. It is possible that there was a chip at the enclosure that they had wanted to cover, but it is also possible that there was a crack or hole that could leak and needs further attention. **Recommended further analysis and repair as needed.**

6(W). Building 2 Unit T - Bathrooms and Components

6.3.W CEILINGS

Repair or Replace



NOTE: There were some areas of patchwork noted at the ceiling of this bathroom. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.

6.9.W OUTLETS SWITCHES AND FIXTURES

Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(X). Building 2 Unit U - Bathrooms and Components

6.8.X OUTLETS SWITCHES AND FIXTURES

Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(Y). Building 2 Unit V - Bathrooms and Components

6.4.Y WINDOWS/ MIRRORS

Repair or Replace



Cracked Window Pane. The window pane in this bathroom was cracked. **It is recommended for safety purposes that this window be replaced by a licensed contractor.**

6.8.Y OUTLETS SWITCHES AND FIXTURES

Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a


6(Y). Building 2 Unit V - Bathrooms and Components

safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(Z). Building 2 Unit W - Bathrooms and Components


6.4.Z WINDOWS/ MIRRORS

Repair or Replace

 **Cracked Window Pane.** The window pane in this bathroom was cracked. **It is recommended for safety purposes that this window be replaced by a licensed contractor.**

6.8.Z OUTLETS SWITCHES AND FIXTURES


Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(AA). Building 2 Unit X - Bathrooms and Components


6.8.AA OUTLETS SWITCHES AND FIXTURES

Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.AA SHOWER/TUB ENCLOSURE


Repair or Replace

 **Discoloration Noted.** There is some discoloration of the caulking on the side of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**

6(BB). Building 2 Unit Y - Bathrooms and Components

6.9.BB OUTLETS SWITCHES AND FIXTURES


Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(CC). Building 2 Unit Z - Bathrooms and Components

6.8.CC OUTLETS SWITCHES AND FIXTURES


Repair or Replace

 **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(EE). Building 3 Unit K - Bathrooms and Components

6.8.EE OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**
-

6(FF). Building 4 Unit A - Bathrooms and Components

6.8.FF OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**
-

6(GG). Building 4 Unit B - Bathrooms and Components

6.8.GG OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**
-

6(HH). Building 4 Unit C - Bathrooms and Components


6.2.HH WALLS

Repair or Replace

-  **Growth on walls.** There were walls in the bedroom where growth was noted. **It is recommended that this area be further evaluated properly repaired by a licensed contractor specializing in mildew and mold.**


6.4.HH WINDOWS/ MIRRORS

Repair or Replace

-  (1) **Cracked Window Pane.** The window pane in this bathroom was cracked. **It is recommended for safety purposes that this window be replaced by a licensed contractor.**

6.8.HH OUTLETS SWITCHES AND FIXTURES

Repair or Replace


-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**
-

6(II). Building 4 Unit D - Bathrooms and Components

6.8.II OUTLETS SWITCHES AND FIXTURES

Repair or Replace


6(II). Building 4 Unit D - Bathrooms and Components

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(JJ). Building 4 Unit E - Bathrooms and Components


6.7.JJ TOILET FIXTURE

Repair or Replace

-  **Loose Toilet.** The toilet fixture in this bathroom is loose at the floor. This could cause the wax ring to become dislodged and your toilet to leak water onto the floor. **It is recommended that this toilet have the wax ring replaced and the toilet secured to the floor (to ensure a proper seal), and caulking be applied to the base of the toilet. (WARNING) Over tightening will cause the porcelain to crack and the need for replacement of the toilet.**


6.8.JJ OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**


6.9.JJ EXHAUST FAN/ HEATER

Repair or Replace

-  **INOP Fan.** The fan in the first floor half bath did not work at time of inspection. It was not determined at time of inspection if this fan had been disconnected, or did not properly function. **It is recommended that this be further inspected and repaired if needed by a licensed electrician.**

6.11.JJ SHOWER/TUB ENCLOSURE


Repair or Replace

-  **Tub Tarnishing.** The overflow at the shower/tub has heavy tarnishing. **This is noted for your information and can be repaired or replaced at your convenience.**

6(KK). Building 4 Unit F - Bathrooms and Components

6.8.KK OUTLETS SWITCHES AND FIXTURES


Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6(MM). Building 4 Unit H - Bathrooms and Components

6.8.MM OUTLETS SWITCHES AND FIXTURES

Repair or Replace

-  **No GFCI Protection.** There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.MM SHOWER/TUB ENCLOSURE

6(MM). Building 4 Unit H - Bathrooms and Components

Repair or Replace



Missing overflow cover at tub. It was noted that the overflow cover to the tub was missing. Recommend replacement of the cover by a qualified repair person.

6(NN). Building 4 Unit I - Bathrooms and Components

6.8.NN OUTLETS SWITCHES AND FIXTURES

Repair or Replace



No GFCI Protection. There is presently no GFCI (Ground Fault Circuit Interrupter) protection in the bathrooms. **It is recommended all bathroom outlets be GFCI protected or on a GFCI protected circuit.** GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that the electricity is unbalanced, or if it detects improper connections of the neutral. **Recommend that GFCI protection be provided.**

6.10.NN SHOWER/TUB ENCLOSURE

Repair or Replace



Discoloration Noted. There is some discoloration of the caulking on the side of the tub and wall connection. Discoloration occurs when moisture builds up and is unable to escape creating mildew and the discoloration of the grout/ caulking. **It is recommend that this area be cleaned, bleached and re-caulked so moisture is unable to build up under the caulking.**

7. Structural Components

7.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Repair or Replace



(5) **Evidence of Water Intrusion.** The ground at the crawl space under the building had evidence of water intrusion at the underside and was damp. Crawlspace should remain dry throughout the year, even after heavy rains. **It is recommended that a irrigation specialist be called out to assess and correct drainage around the perimeter of the buildings.**

7.2 WALLS (Structural)

Repair or Replace



(1) **NOTE:** It is noted that most buildings which were constructed between the years of 1930's to the mid 1980's will contain materials which contain asbestos, and lead. This is noted for your information. It is important as to not disturb these materials with out the use of proper equipment. For more information on Asbestos visit: <http://www.epa.gov/asbestos/pubs/ashome.html>

7.3 FLOORS (Structural)

Repair or Replace



(1) **Severe Wood Damage and Growth.** There are multiple areas at the underside of each building (each of the 3 buildings containing crawlspaces) that have severe water damage, wood deterioration and growth to the floor sheathing and framing members. These locations were noted throughout the underside of the buildings, and are especially prevalent around the plumbing areas. The ground at several locations were moist and there was limited to no venting at several sections of the building. **Some of the flooring was presently wet due to plumbing leaks, and other areas of the flooring were wet due to lack of ventilation and condensation.** Many of these areas had severe wood damage and rot. It was noted that some areas had repairs conducted but have since been damaged. **It is recommended that these areas be further evaluated and repaired as needed by a licensed contractor and mold specialist and repaired as needed.**

7.5 ELECTRICAL WIRING (Under Floor Space)

Repair or Replace



Exposed Wires. There was a wire run at the underside of the second building that had exposed wires. **These wires were not tested, and it was not known if these were live wires carrying current.** This wire was located at the

7. Structural Components

rear, middle section of the second building. It is recommended that these wires be tested and properly capped and secured by a licensed electrician.

7.8 VENTILATION OF FOUNDATION AREA (crawlspce or basement)

Repair or Replace



Insufficient ventilation of crawlspce. It appears that the visible ventilation of the crawlspce was insufficient for it's size. Crawlspces should have a minimum of one square foot of ventilation for every 150 square foot of crawlspce. Currently it appears that the only source of ventilation is from the access points. There are severe issues at the underside of these buildings related to water intrusion and lack of sufficient venting. **There were areas of water condensation forming at the underside of the flooring materials and framing members.** It is recommended that the underside of these buildings be further evaluated by a licensed contractor, specialist or engineer to determine the best method to allow for proper ventilation of the crawlspce.

8. Plumbing System

8.0 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Repair or Replace



(2) **Severe Deterioration- Active Leak.** The plumbing supply lines at the underside of the buildings have severe tarnishing and deterioration. There is severe electrolysis and deterioration of the supply lines at the underside of the buildings. Electrolysis occurs when incompatible materials come into contact with one another. These pipes were black in color, which could indicate that there is electrical current affecting these lines. **There was an active leak noted at the underside of the first building.** It is recommended that these lines be further evaluated and repaired as needed by a licensed plumber.

8.1 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Repair or Replace



(1) **NOTE:** Replaced Plumbing Noted. This house was originally plumbed with cast iron waste lines which typically have a life expectancy of about 50+ years. It was noted that some sections of the waste lines have had repairs made and have been replaced with ABS (a newer plastic type material). This inspection is limited and the condition at f the interior of the pipes cannot be viewed or determined. Only the exterior condition of the pipes are visible for this part of the inspection. It is highly recommended in homes of this age that a plumber with a camera be called out for further evaluation of the waste lines.



(2) **Old Cast Iron Plumbing With Deterioration and Leaks.** The waste lines at the underside of these buildings are mainly constructed of the original cast iron. These lines are over 50 years old and are not all visible and were not able to be inspected for interior physical damage, clogs, root intrusion or other damage. **Due to the type and age of the material it is recommended that the waste lines be further scoped and evaluated.** Cast iron waste lines rust and deteriorate from the inside out- The true dimensional circumference, and function could not be determined at the time of the inspection. It is highly recommended that a plumber, equipped with a camera, be called out to scope the interior of these lines before the end of the contingency period. This will help to determine the true condition of the waste lines from the house to the city connection.



(3) **Cast Iron Leaks Noted Under House.** There are a few active leaks at the underside of the buildings. These leaks occur in the crawlspces of the first and second buildings. **There were several areas which suggest that the toilets are not properly seated and are actively leaking.** It is recommended that these be further evaluated and corrected as needed by a licensed plumber.



(4) **Active Leaks Under Bathrooms.** There were several active leaks at the underside of the bathrooms of both building #1 and #2. It is recommended that the waste system be further inspected, evaluated and repaired as needed by a licensed plumber.






(5) **Improper Pipe Connections.** There was an improper plumbing connection at the waste line at the underside of the 2nd building. A newer section was improperly connected to the original cast iron. The connection was not fitted with a proper boot and there were gaps at the connection. **These gaps can allow sewer gases to escape from the lines and enter the house.** It is recommended that this connection be further evaluated and repaired as needed by a licensed plumber.



(6) **Moisture Around Pipe Areas.** It was noted that the soil was moist at the underside of the house around the cast iron plumbing. The cast iron plumbing typically has a life expectancy of 50 years. The dampness around these lines


8. Plumbing System

may indicate that there damage to the waste lines at these areas. The sections of waste lines buried within the ground are not visible and the condition of these lines were not able to be determined. **It is recommended that the waste system be further evaluated and scoped with a camera by a licensed plumber. All damaged materials should be replaced as needed by a licensed contractor.**

-  (7) **Improper Slope of Waste Line.** There was a waste line at the underside of the house that does not have a proper downward slope. Waste lines (which are 3 inches or greater) must maintain a minimal downward slope of 1/8 inch. In this application there is a section of plumbing that did not appear to have a proper slope. This can cause water and debris to remain within the pipe at this location. **It is recommended that this be further evaluated and that the slope of this pipe be corrected by a licensed plumber.**
-  (8) **Improper P-Trap .** There was an improper P-Trap noted at the underside of the first building. This was noted at one of the the hall bathrooms. All plumbing fixtures should have a single P-trap, which inhibit sewer gases from entering the house through the waste lines. In this application a P-Trap was configured. P traps are engineered and tested fittings. Built on site traps can inhibit proper working order. **It is recommended that this be further evaluated and repaired as needed by a licensed plumber.**
-  (9) **Missing Plumbing Vent?.** Plumbing systems are equipped with vents, which remove both pressure and gasses from the waste system. Typically these pipes extend through flashings to the exterior of the house and terminate no less than 6 inches above the roof line. **Missing vent stacks or air admittance valves can cause the water to improperly drain causing the pipe to back up.** It could not be determined if the improperly sloped line had a proper vent stack. **It is recommended that this be further evaluated and repaired as needed by a licensed plumber.**

8.3 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Repair or Replace

-  (1) **WATER HEATER NOTE:** Every unit in each of the 4 buildings has it's own water heater. Each of these water heaters were 30 gallon electric water heaters. Some of these water heaters were older units and some were newer. Below is a list of newer water heaters (4 years old or newer).

Newer Water Heater Units:

Building #1: Unit C (2010),


Building # 2: Unit M (2009) Unit N (2009), Unit O (2011) Unit Q (2009)

Building #3: (Unknown)

Building #4: (no newer water heaters)

8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Repair or Replace

-  (1) **SEVERE Deterioration of Gas Lines.** The gas lines at the underside of the house have SEVERE deterioration. There was severe pitting and splintering of the gas lines where the lines were in contact with the concrete foundation. Gas lines should be protected at all through penetrations in help to inhibit corrosion and deterioration of the lines. In this application the lines are severely deterioration and should be replaced. **Due to the severity of the current damage, this is considered to be unsafe and a health hazard until further inspected by a licensed specialist.** It is highly recommended that these lines be further evaluated and repaired as needed by a licensed plumber.

9. Electrical System

9.0 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Repair or Replace

-  (1) **The Electrical System Was Comprised of Three Separate Disconnects:**

9. Electrical System

Building #1: Square D. **400 Total Amperes**

Each of the 11 units for this building was supplied with 30A.

House Meter was 50A.

Building #2: Square D. **400 Total Amperes**

Each of the 15 units for this building was supplied with 30A.

House Meter was 100A.

Building #3: Square D. **200 Total Amperes**

Each of the 11 Units for these buildings was supplied with 30A.

Building #4: Square D.

Each of the 5 Units were supplied with

9.5 SMOKE DETECTORS

Repair or Replace



(1) **NOTE: Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

NOTE: The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: It was noted that this unit was equipped with Ionization smoke alarms. Ionization type smoke detectors can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

For more information about smoke alarms please visit the following sites:

http://www.firesafetycouncil.com/pdf/review_on_best_sensor_type_for_kitchens.pdf

http://en.wikipedia.org/wiki/Smoke_detector

9.6 CARBON MONOXIDE DETECTORS

9. Electrical System

Repair or Replace



(1) **NOTE:** It is recommended that the carbon monoxide tester be tested upon moving in and the batteries be changed. The location and placement of these devices vary widely depending on Manufactures recommendations. Typically these are suppose to be installed outside the sleeping areas at eye level. It is recommended that that you read and follow the manufactures recommendation as to the proper location of these devices. Batteries should be changed every 6 months or when indicated by device or manufactures recommendations.

10. Heating / Central Air Conditioning

10.0 HEATING EQUIPMENT

Not Inspected, Repair or Replace



Older Furnace Units- Recommend further analysis . Most of the furnace for these units are older Holly or Williams gas fired furnaces. At time of inspection there were some rust flakes in the burner chambers. Some of the furnaces were not accessible and were not tested or inspected. Most units did not show visible signs of damage or improper wear- however furnaces can have minor cracks that cannot be detected through our inspections. **Because of the age of most of these furnaces, and the inherent dangers associated with improperly working gas furnaces, it is recommended that they be thoroughly inspected and evaluated by a licensed HVAC Specialist or by SDG&E.**

NOTE: The Scope of this inspection does not include a thorough analysis of the inner components of the furnaces. This includes but is not limited to cracks in the heat exchanger and areas of the heater that are not accessible. It is recommended that all heaters be thoroughly evaluated by a licensed HVAC specialist every year to ensure proper working conditions.

Pilots Off- Not Tested. Most of the wall heaters were "OFF" (did not have the pilots lit), and were not able to be inspected for proper working order. Our insurance provider does not allow us to light any appliances. Most of the tenants did not use the furnaces and did know if they properly functioned. **It is recommended that you contact SDG&E or a HVAC specialist for further evaluation of the wall furnaces, and repairs if needed.**

Newer Wall Furnaces Were Observed at the Following Locations:

Building #1: Unit E, Unit G, Unit I and Unit L

Building #2: Unit N, Unit P, Unit U, Unit Q, and Unit Z

Building #3: Unit J

Building #4: Unit A, Unit B, Unit C, Unit H, and Unit I

Nation Wide Inspections

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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INVOICE

Nation Wide Inspections
 10928 Black Mtn Rd
 San Diego, CA 92126
 Inspected By: Jason Havel

Inspection Date: 3/8/2013
 Report ID: JL0306-0713C

Customer Info:	Inspection Property:
Sample Report	1202 Missouri Ave Oceanside Ca 92054
Customer's Real Estate Professional:	

Inspection Fee:

Service	Price	Amount	Sub-Total
Commercial Complex	4250.00	1	4250.00
			Tax \$0.00
			Total Price \$4250.00

Payment Method: Cash
Payment Status: Partial Payment
Note: Awaiting Additional \$1250.00